

NOTICE

The enclosed paperwork is recently adopted amendments to the Castlewood Ranch *Design Guidelines and Application Review Procedures for Home Improvements and Landscaping*.

In an effort to comply with homeowner requests, the Design Review Committee has made some changes to the rules and regulations regarding play structures, fence stain, landscaping and sheds. Please review this information carefully for it will apply to all Castlewood Ranch homeowners. Please retain this paperwork with your other governing documents for future reference.

Should you have any questions, feel free to contact your Community Manager at 303.751.6564.

CASTLEWOOD RANCH HOMEOWNERS ASSOCIATION, INC.

c/o Management Specialists, Inc.
3033 South Parker Road
Aurora, CO 80014
303.751.6564 ~ Fax 303.751.7396

July 30, 2002

Dear Homeowner:

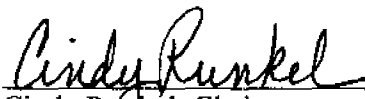
After considering homeowner concerns and consulting with the Board of Directors, the Design Review Committee of the Castlewood Ranch Homeowners Association, Inc. has revised the *Design Guidelines and Application Review Procedures for Home Improvements and Landscaping* with regard to Accessory Buildings (Storage Sheds), specifically in the areas of height limitations and placement locations. Please review the attached Appendix H and Location Detail sketch with Setback Reference Table for a clear understanding of this Design Guidelines revision.

In addition, the Design Review Committee has consulted with the Board of Directors on another matter that became pronounced at the Informational Meeting on June 24, 2002. The Committee has also revised the Design Guidelines for Play Structures, specifically regarding height limitation criteria and consideration of slide colors. The attached Appendix I with accompanying Play Structure Height Detail sketch lists the requirements for Play Structures installed on any lot in Castlewood Ranch. Please review these revisions for a clear understanding of Appendix I.

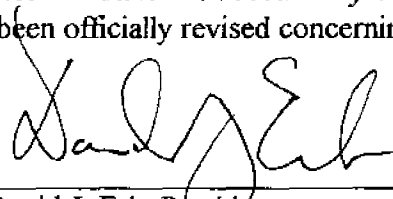
NOTE: Appendix II is a revised extension of Section II B.1 Accessory Buildings of the Design Guidelines and Application Review Procedures for Home Improvements and Landscaping. Appendix I is a revised extension of II.B.44 Play & Sports Equipment of the Design Guidelines and Application Review Procedures for Home Improvements and Landscaping. All other sections and subsections of the Castlewood Ranch Design Guidelines and Application Review Procedures for Home Improvements and Landscaping remain in full force and effect.

Please be reminded that, prior to commencement of work, homeowners must make formal submittals to the Design Review Committee for any and all exterior improvements. In its review of applications for Play Structures and Accessory Buildings (Storage Sheds), the Committee shall continue to pay particular attention to elements such as parcel grading, setbacks, fence location, landscape screening, etc.

Therefore, be it resolved that the *Design Guidelines and Application Review Procedures for Home Improvements and Landscaping* for Castlewood Ranch have been officially revised concerning the above referenced issues this 16th day of July, 2002:



Cindy Runkel, Chair
Design Review Committee



David J. Erb, President
Castlewood Ranch HOA Board of Directors

cc. Castlewood Ranch HOA Board of Directors
Management Specialists, Inc.

APPENDIX H - ACCESSORY BUILDING (Storage Shed) GUIDELINES

See attached detail drawing and setback reference table.

As referenced in Paragraph II.B.1. of the Castlewood Ranch "Design Guidelines and Application Review Procedures for Home Improvements and Landscaping," an Accessory Building requires DRC approval and shall be based upon quality of workmanship, design, materials and colors of external design with existing structures, and location in relation to surrounding structures, topography and finish grade elevations." The following general standards shall apply:

- a. No more than one Accessory Building will be permitted on a lot and must be installed in side or rear-yard locations outside of zoning designated setback areas;
- b. It must be of the same or generally recognized as complementary architectural style and color as that of the residence;
- c. The roof must match that of the existing residence;
- d. Materials other than wood, Masonite or that resembling the home are prohibited;
- e. It must be screened from view of the street by a fence or landscaping. Shrubs and/or trees equal to $\frac{3}{4}$ the height of the Accessory Building at planting may be required for screening purposes, with quantity, size and location of vegetation subject to the Design Review Committee's discretion;
- f. The maximum allowed Accessory Building size is 8'x10'x5' in height, including skids, foundation and/or concrete slab. **However, effective with the July 16, 2002 ruling by the Castlewood Ranch Design Review Committee, variance consideration will be given for Accessory Buildings that exceed the 5' maximum allowable height if they comply with one of the following placement location requirements:**
 1. An Accessory Building that does not exceed 5 feet at its highest point may be located anywhere in the side or rear yard of a residential lot *except within zoning designated side or rear setback areas*;
 2. An Accessory Building up to 7 feet at its highest point may be approved for side-yard locations *if it is attached to the house and does not fall within a zoning designated side setback area*;
 3. An Accessory Building up to 8' at its highest point may be approved for rear-yard locations only and must be attached to the rear of the house.

Submittal requests for Accessory Buildings will be reviewed by the DRC on a case-by-case basis, taking into account each individual lot size, lot orientation and the proposed Accessory Building location. A scaled site plan showing exact placement location, dimensions and materials and color specifications must accompany all submittals.

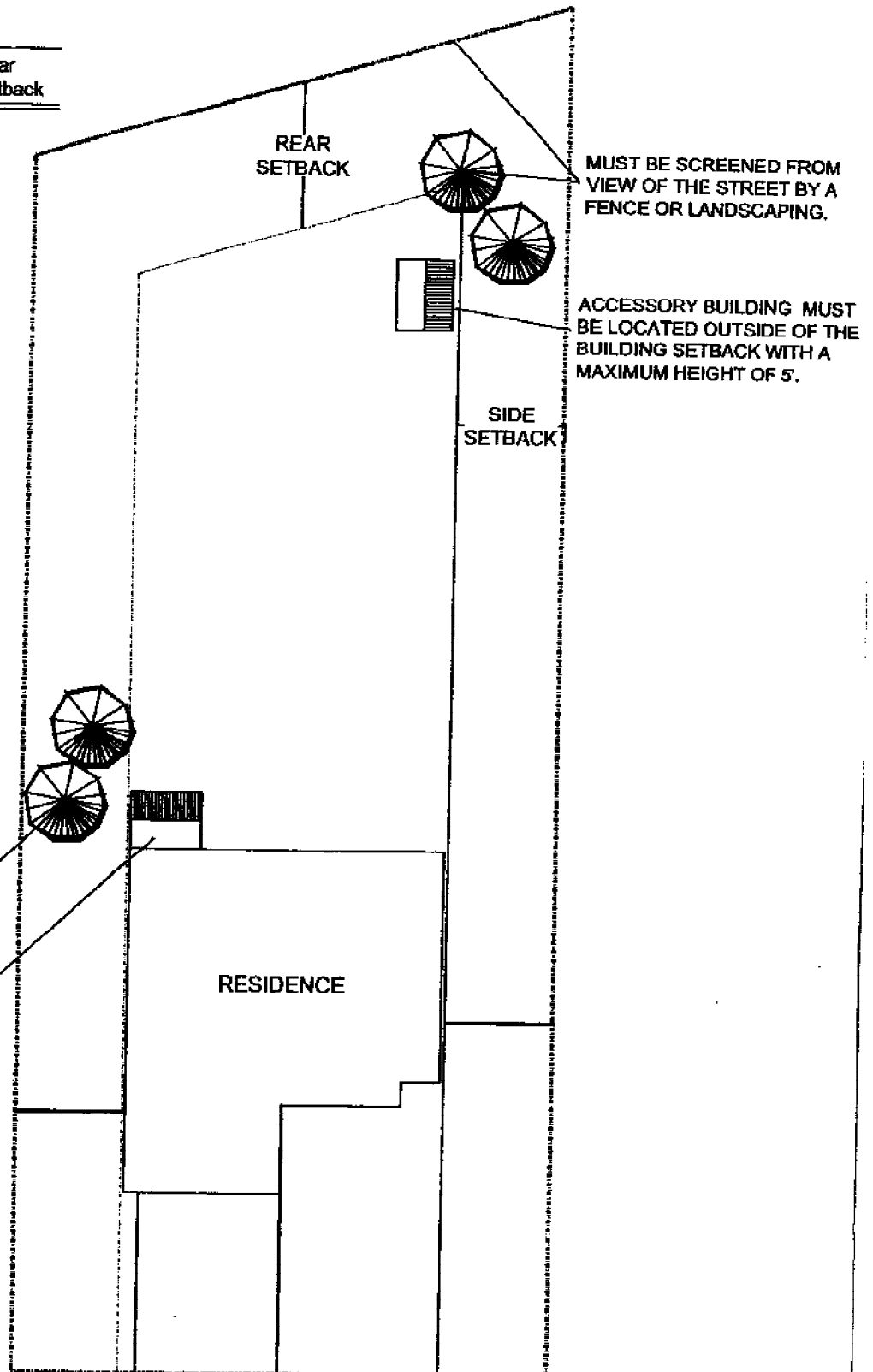
Revised 7-16-02

CASTLEWOOD RANCH

APPENDIX H

ACCESSORY BUILDING LOCATION DETAIL

Neighborhood	Builder	Side Setback	Rear Setback
Phase 1			
The Highlands	Melody Homes	15'	20'
The High Prairie	Melody Homes	15'	20'
The Trails	KB Home	5'	20'
The Mesa	KB Home	15'	20'
The Ridge	Pulte Homes	25'	25'
The Junipers	Greentree Homes	25'	30'
	Sundown Homes	25'	25'
The Overlook	multiple	25'	30'
The Canyons	multiple	25'	30'
The Villas	KB Home	5'	10'
Phase 2			
Lupine Meadows	not designated	15'	20'
Vantage Point	not designated	15'	20'
The Enclaves	not designated	15'	20'
Pinon Bluffs	not designated	25'	25'
Prairie Vista	not designated	15'	20'
Eagle's Perch	not designated	25'	30'
Peak View	not designated	15'	20'
Canyon Crest	not designated	25'	30'
Canyon Rim	not designated	25'	30'



NOT TO SCALE

NOTE: LOT DEPICTED REPRESENTS A TYPICAL LOT, HOWEVER INDIVIDUAL SETBACK REQUIREMENTS AND LOT SIZES MAY VARY. REFER TO TABLE

APPENDIX I – PLAY STRUCTURE GUIDELINES

See attached detail drawing and setback reference table.

As referenced in paragraph 3.24 of the "Covenants, Conditions and Restrictions for Castlewood Ranch," Play Structures that do not exceed 6' in height from ground level will not require Design Review Committee approval. However, DRC approval is required for Play Structures that exceed 6' in height, with variance consideration given for those that meet all of the following requirements:

1. No more than one Play Structure will be permitted on a lot and must be installed in a side or rear-yard location *outside* of zoning designated setback areas (provision applicable to Play Structures of any height);
2. The "main section" of a Play Structure may not exceed 8' in height at its highest point; an "open platform / separate tower section" may, however, extend up to 12' at its highest point (see attached detailed drawing);
3. A Play Structure must be constructed of a natural wood material with a natural or brown stain finish;
4. Wood roofs on open platform/tower sections are preferred, however canvas covers will be approved if a solid forest green color; no other colors or striped patterns will be permitted;
5. Preferred slide colors are forest green or other natural colors, however primary colors will be permitted;
6. No flags will be permitted;
7. Landscape screening of at least 6' in height may be required at time of Play Structure installation, with tree location(s) to be specified by the DRC on a case-by-case basis;
8. A Play Structure must be well maintained and kept orderly at all times;
9. Any future additions to a Play Structure must be approved by the DRC prior to installation.

Submittal requests for Play Structures exceeding 6' in height will be reviewed by the DRC on a case-by-case basis. A scaled site plan showing exact placement location, dimensions and materials and color specifications must accompany all submittals.

Revised 7-16-02

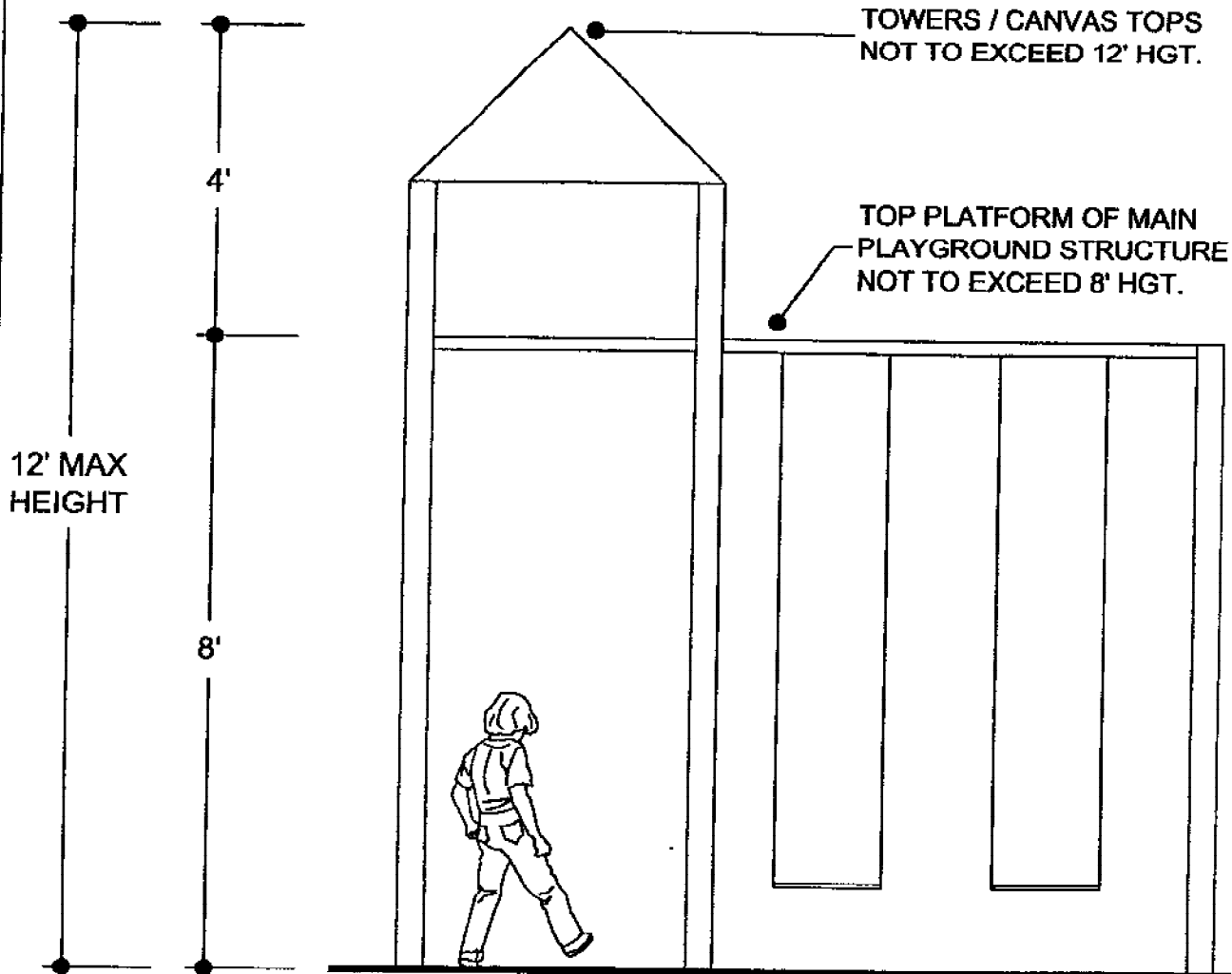
CASTLEWOOD RANCH

APPENDIX I

PLAY STRUCTURE HEIGHT DETAIL

Neighborhood	Builder	Side Setback	Rear Setback
Phase 1			
The Highlands	Melody Homes	15'	20'
The High Prairie	Melody Homes	15'	20'
The Trails	KB Home	5'	20'
The Mesa	KB Home	15'	20'
The Ridge	Pulte Homes	25'	25'
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Eagle's Perch	not designated	25'	30'
Peak View	not designated	15'	20'
Canyon Crest	not designated	25'	30'
Canyon Rim	not designated	25'	30'

NOTE: PLAY STRUCTURES MUST BE LOCATED OUTSIDE OF ZONING DESIGNATED SIDE OR REAR YARD SETBACK AREAS.



CASTLEWOOD RANCH HOMEOWNERS ASSOCIATION, INC.

c/o Management Specialists, Inc.
3033 South Parker Road
Aurora, CO 80014
303.751.6564 ~ Fax 303.751.7396

August 31, 2002

Dear Homeowner:

The Design Review Committee of the Castlewood Ranch Homeowners Association, Inc. has revised the *Design Guidelines and Application Review Procedures for Home Improvements and Landscaping* with regard to Fencing, Section IIB.24, specifically the application requirement for the approved Kwal-Howells stain, **Beachwood**, within six (6) months of fence installation. In addition, regulations regarding fencing gates have been made. Please review the attached revisions to the Design Guidelines; changes are notated in bold.

In addition, the Design Review Committee has expanded Section IIB.34e of the Design Guidelines. Specifically this allows the homeowner backing to the perimeter of a Planning Area a choice in planting either a minimum of two 1½ caliper deciduous trees OR planting two 6' minimum height evergreen trees OR a combination of both when fulfilling the installation requirement of two (2) trees in the backyard. Please review the attached revisions to the Design Guidelines; changes are notated in bold.

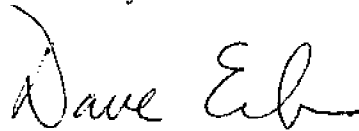
NOTE: These changes apply to Section IIB.24, Fencing and Section IIB.34e, Landscaping of the Castlewood Ranch Design Guidelines and Application Review Procedures for Home Improvements and Landscaping. All other sections and subsections of the Castlewood Ranch Design Guidelines and Application Review Procedures for Home Improvements and Landscaping remain in full force and effect.

Please be reminded that, prior to commencement of work, homeowners must make formal submittals to the Design Review Committee for any and all exterior improvements.

Therefore, be it resolved that the *Design Guidelines and Application Review Procedures for Home Improvements and Landscaping* for Castlewood Ranch have been officially revised concerning the above referenced issues this 13th day of August, 2002:



Cindy Runkel, Chair
Design Review Committee



David J. Erb, President
Castlewood Ranch HOA Board of Directors

cc. Castlewood Ranch HOA Board of Directors
Management Specialists, Inc.

19. Doors

DRC approval is not required for the replacement or repainting of the existing main entrance door(s) to a residence or accessory building if the material and color exactly match those existing on the residence.

- a) Storm Doors: DRC approval may be required. Colors selected should be white or the body or trim color of the residence. Homeowners wishing to utilize a different storm door or color must first obtain approval from the DRC.
- b) Security Doors: All security doors and windows must be approved by the DRC prior to installation.

20. Drainage

Drainage shall conform to the Master Declaration of Covenants, Conditions and Restrictions for Castlewood Ranch and shall comply with all other applicable regulations, including, but not limited to, any Town of Castle Rock or Douglas County regulations and applicable FHA / VA regulations. Proper drainage of the lot is the responsibility of the Homeowner and should not be altered from the original grading completed by Builder.

21. Driveways

DRC approval is required for the extension or expansion of driveways. Any approved driveway expansion shall not be for the intention of promoting the parking or storage of any vehicle on the driveway or side yard.

22. Evaporative Coolers

See Air Conditioning Equipment.

23. Exterior Lighting

See Lights and Lighting.

24. Fencing

Fences planned to be located in the rear or side yards along property lines may be constructed without DRC approval if they are constructed exactly in accordance with the detailed specifications shown in these Guidelines. Fencing within Castlewood Ranch is divided into three categories, each of which is subject to the specific design criteria set forth below:

a) Perimeter Fencing

Perimeter Fencing is located adjacent to principal frontage roads and Planning Area boundaries, with exposure to principal roadways and common areas. The initial Perimeter fencing design shall be determined by the Declarant and installed by either the Declarant or Builder in a Planning Area, and shall conform to one of the two Standard Perimeter Fencing designs depicted in Appendix D. Fences installed by the Declarant or its Builders shall not be altered in any way without the prior written consent of the Declarant.

b) Open Space Fencing

Open Space fencing is the rear and side yard fencing located adjacent to open space areas, and shall conform to the Standard Open Rail Fencing design depicted in Appendix E. Any fence exposed to a street or open space area shall have its finished side facing such street or open space and shall be stained the color specified in Appendix E. All Open Space fencing must be stained the color specified in Appendix E within six (6) months of fence installation.

c) Yard Fencing

Yard Fencing is the fencing located on individual Lots, but not adjacent to open space areas. Yard Fencing shall conform to one of the two Standard Yard Fencing designs depicted in Appendix F, and except where otherwise dictated by applicable "Site Specific Requirements," Yard Fencing shall comply with the following generally applicable requirements:

Use of open rail fences on interior side yard lot lines is encouraged and shall comply with the Standard Yard Fencing detail shown in Appendix F. Any required fencing will be installed prior to initial occupancy of the Residence. Builders shall provide side yard "wing fencing" between residences that shall conform to one of two Standard Yard Fencing designs depicted in Appendix F. All Yard Fencing must be stained the color specified in Appendix F within six (6) months of fence installation.

General Provisions:

There shall be no gaps between fences.

Open rail fences backing to community open space or common areas shall not have gates. The DRC may permit gates in open rail or privacy fence side yard (wing fence) applications in order to allow homeowner access from front to rear yards (see Appendix F for required open rail gate design detail). All gates must match the appearance of the contiguous fence in style (open rail or privacy), height, materials and stain color.

The DRC may permit grid wire, for the containment of pets or small children, to be attached to an open rail fence as depicted in Appendix F.

The front yard of a residence shall not be fenced.

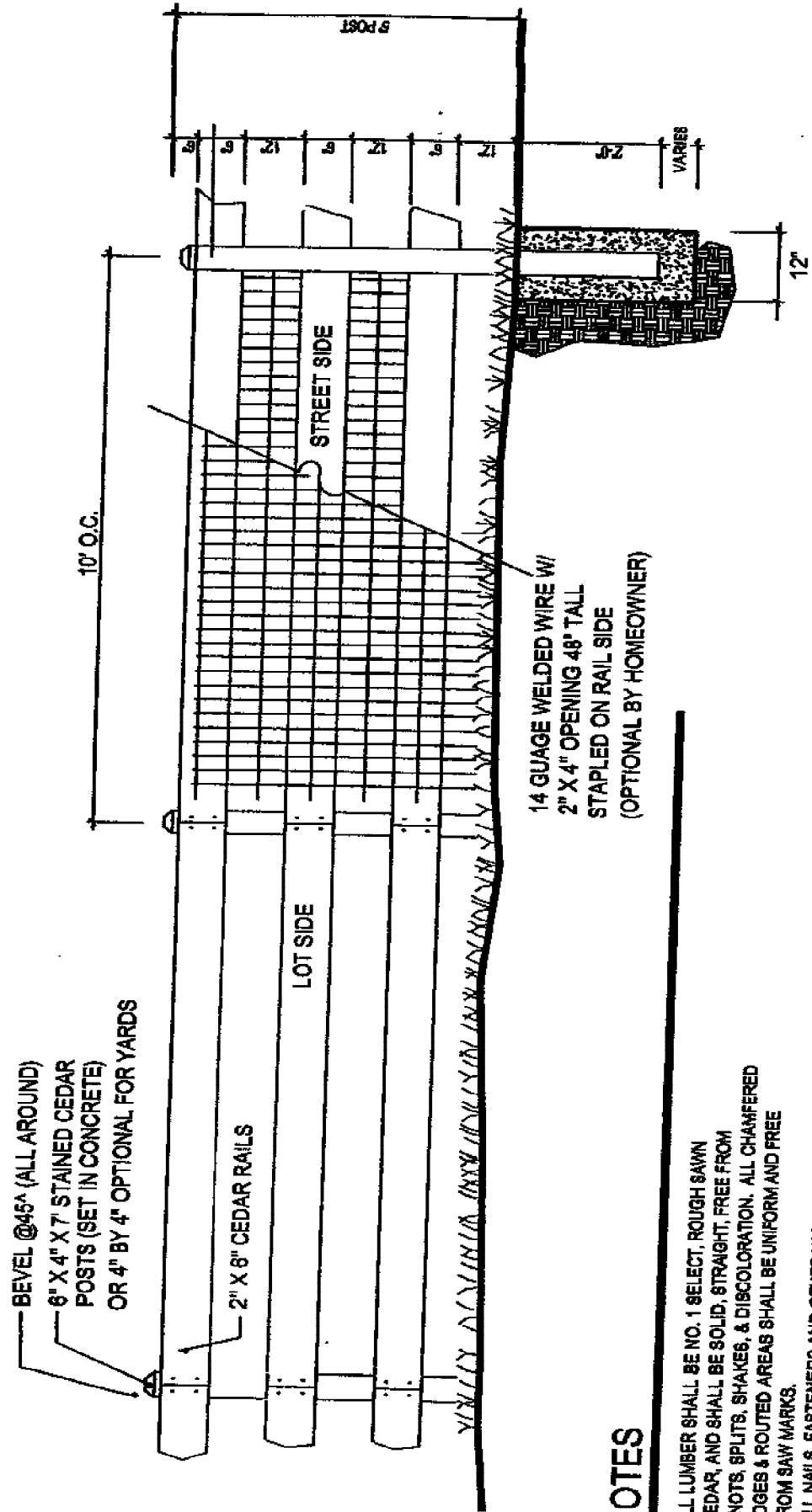
Where Yard Fencing abuts Open Space Fencing, the yard fence shall match the height of the open space fence for a distance of at least six (6) feet from the point of intersection with such Open Space Fencing.

25. Flagpoles and Flags

A maximum of one 3' x 5' flag (US or Colorado), attached to a pole no more than 6' long and 2" in diameter, may be affixed to the front or back of a residence without DRC approval. When

CASTLEWOOD RANCH RAIL FENCE DETAIL

NOT TO SCALE

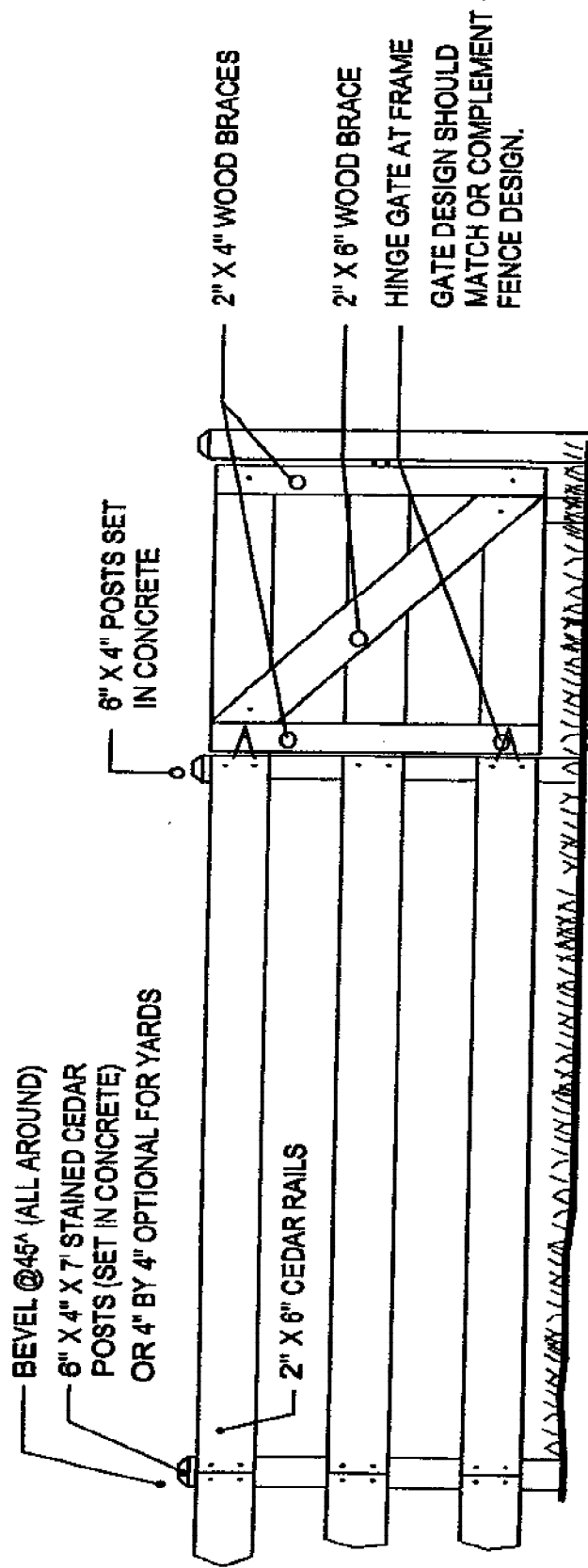


NOTES

1. ALL LUMBER SHALL BE NO. 1 SELECT, ROUGH SAWN CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, & DISCOLORATION. ALL CHAMFERED EDGES & ROUTED AREAS SHALL BE UNIFORM AND FREE FROM SAW MARKS.
2. ALL NAILS, FASTENERS AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED. NAILS SHALL BE SHANK.
3. POST SHALL BE SECURELY BRACED IN THEIR FINAL POSITION A MIN. 24 HOURS BEFORE BOARDS ARE NAILED.
4. ALL EXPOSED LUMBER SHALL BE ALLOWED TO DRY PRIOR TO PAINTING WITH KWAL HOWELLS SEMI TRANSPARENT STAIN AND SEALER. COLOR TO BE BEACHWOOD OR APPROVED EQUAL. FENCE TO BE STAINED WITHIN 6 MONTHS OF INSTALLATION.

CASTLEWOOD RANCH OPEN RAIL FENCE W/GATE

NOT TO SCALE

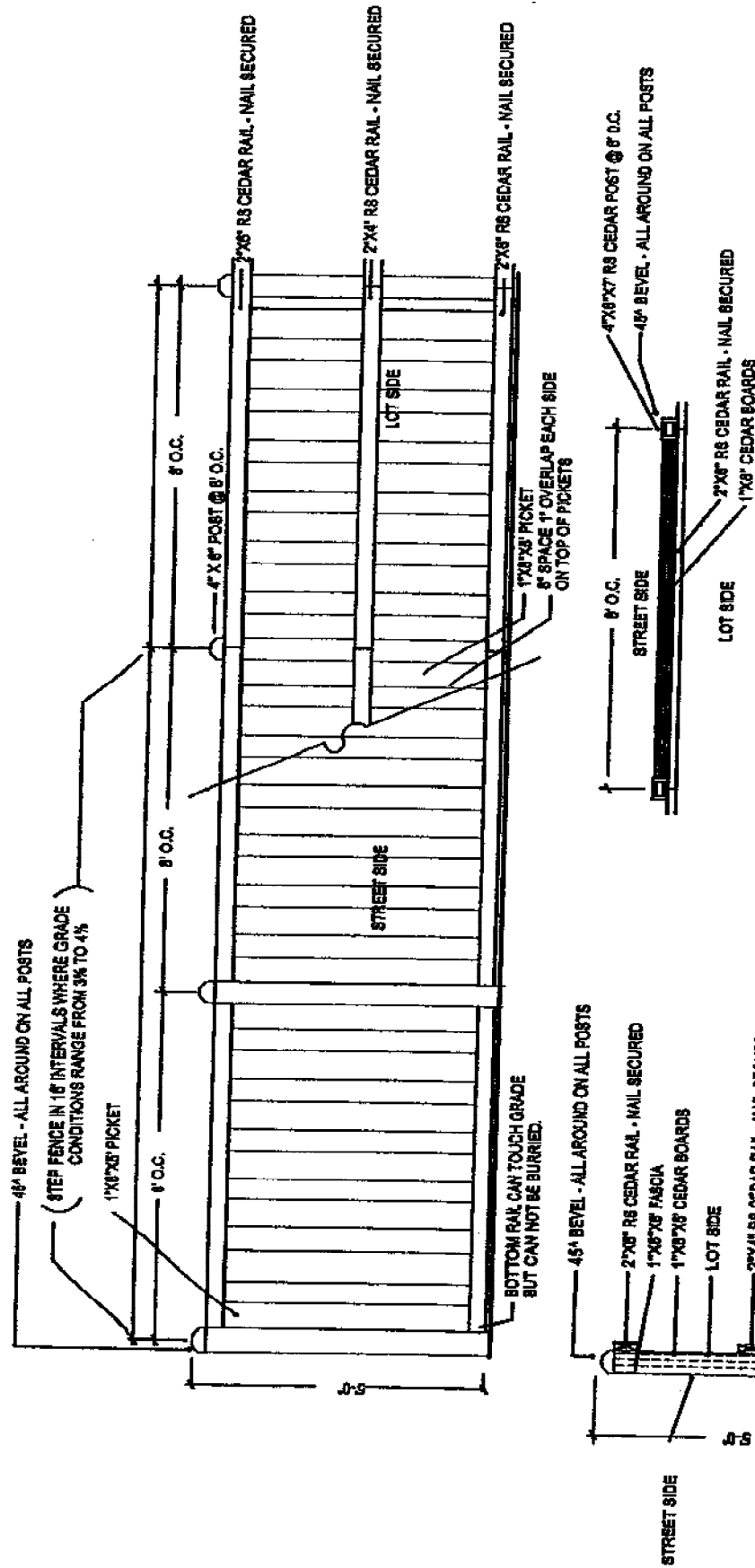


NOTES

1. ALL LUMBER SHALL BE NO. 1 SELECT, ROUGH SAWN CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, & DISCOLORATION. ALL CHAMFERED EDGES & ROUTED AREAS SHALL BE UNIFORM AND FREE FROM SAW MARKS.
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CASTLEWOOD RANCH - PRIVACY FENCE DETAIL

NOT TO SCALE



NOTES

1. ALL LUMBER SHALL BE NO. 1 SELECT, ROUGH SAWN CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, & DISCOLORATION. ALL CHAMFERED EDGES & ROUTED AREAS SHALL BE UNIFORM AND FREE FROM SAW MARKS.
2. ALL NAILS, FASTENERS AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED. NAILS SHALL BE SHANK.
3. POST SHALL BE SECURELY BRACED IN THEIR FINAL POSITION A MIN. 24 HOURS BEFORE BOARDS ARE NAILED.
4. ALL EXPOSED LUMBER SHALL BE ALLOWED TO DRY PRIOR TO PAINTING WITH KHAL HOWELL'S SEMI TRANSPARENT STAIN AND SEALER, COLOR TO BE BEACHWOOD OR APPROVED EQUAL. FENCE TO BE STAINED WITHIN 6 MONTHS OF INSTALLATION.

Except for Residences first occupied during the winter months, where, upon prior approval by the DRC, landscaping may be delayed until the immediately following spring, front yard landscaping shall be installed before the initial occupancy of the Residence:

The front yard shall be sod or a combination of sod and shrubs, and shall be installed on both sides of the driveway. Gravel, stone or wood chip front yards are prohibited. A sprinkler system shall be installed in front yards. Sprinkler heads shall be oriented to prevent direct spraying onto fences or into natural areas where added irrigation may encourage uncontrolled growth.

d) Side Yard Landscaping

In any location where the side yard of a corner lot is exposed to a street in front of a fence, the side yard shall be landscaped at the same time as the front yard. The side yard landscaping shall be visually integrated with the front yard landscaping and must include irrigated sod, which shall not be held back more than five (5) feet from the foundation where directly exposed to street view.

e) Rear Yard Landscaping

Rear yard landscaping shall be completed in accordance with a landscape plan approved by the DRC within twelve (12) months after the date of initial occupancy of the Residence, unless the Residence is situated on the perimeter of a Planning Area, then within six (6) months after the date of initial occupancy.

NOTE: All Residences backing to the perimeter of a Planning Area shall be required to plant a minimum of two 1-1/2" caliper deciduous trees OR two 6' minimum height evergreen trees OR a combination of the above, within the above-described schedule for landscaping completion.

35. Latticework

DRC approval is required for any type of trellis or latticework.

36. Lights and Lighting

DRC approval is not required for exterior lighting if in accordance with the following Guidelines:

- a) Exterior lights shall be simple and conservative in design and be as small in size as is reasonably practical.
- b) Exterior lighting shall be directed toward the residence and be of low enough wattage to minimize glare to neighbors and other homeowners.
- c) Lighting should not spill over into neighbors' yards.
- d) Lighting for walkways generally shall be directed toward the ground.
- e) Lighting fixtures shall be dark colored in order to be as unobtrusive as possible.
- f) Any variance from these Guidelines or use of high-wattage spotlights or

CASTLEWOOD RANCH

A Master Planned Residential Community
in
Castle Rock, Colorado

Design Guidelines
and
Application Review Procedures
for
Home Improvements and Landscaping

Adopted April 29, 2000

Amended March 01, 2002

Amended July 16, 2002

Amended August 13, 2002

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I. INTRODUCTION

A. About Castlewood Ranch

Castlewood Ranch is a master planned community including separate and distinct neighborhoods (also referred to as Planning Areas) within a network of trails and walkways connecting to centrally located school sites, parks and other recreational amenities.

These Guidelines have been adopted for the purpose of giving direction to Homeowners in preparing plans and designs that reinforce the appearance of high quality neighborhoods within the master planned setting. These Guidelines and Procedures apply to all modifications, additions and alterations made on or to existing improvements, residential units or structures containing residential units, lot landscaping and open space areas.

In order to preserve the harmony of exterior design in relation to surrounding structures, topography and finish grade elevations, these Guidelines have been created to mirror the Design Guidelines and Application Review Procedures of the New Construction Committee (NCC).

Due to the unique characteristics of individual Planning Areas, certain special requirements relating to house design, site planning, landscaping, fencing or any other facet of modification, addition or alteration, may be applicable to a particular Planning Area. These special requirements are set forth in "Site Specific Requirements" for such Planning Areas.

Although the Site Specific Requirements are distributed separately, they are, by this reference, incorporated in these Guidelines with the same force and effect as if the full text of such Site Specific Requirements were set forth in these Guidelines. Homeowners should become familiar with the applicable Site Specific Requirements at the outset of the design process. If there is any conflict between applicable Site Specific Requirements and these Guidelines, the Site Specific Requirements shall control.

Additionally, due to unique characteristics of individual Lots and/or groups of Lots, certain additional special requirements relating to housing design, site planning, landscaping, fencing or any other facet of modification, addition or alteration may be imposed by the Design Review Committee during the review process.

B. Who administers the procedures set forth in these Guidelines?

The Design Review Procedures are described in Section II below and are administered by the Design Review Committee (DRC), which is composed of three (3) members, all of which shall be initially appointed by the Declarant, Castlewood Ranch LLC. Declarant shall have the continuing right to appoint and replace all three members during the "Appointment Period", which is defined as "the period of time commencing as of the date of Recordation of the Master Declaration and continuing until the earliest to occur of the following events: a) when all Sites have been conveyed to Persons other than the Declarant, a successor Declarant or a Principal Builder, and certificates of occupancy have been issued for the residences

constructed thereon; b) ten (10) years after the date of the Master Declaration; or c) when, in its discretion, Declarant voluntarily relinquishes such right. After expiration of the Appointment Period, members of the Design Review Committee shall be Members of the Master Association, and the Board of Directors of the Master Association shall have the right to appoint such Members. Following expiration of the Appointment Period, the Master Association may at any time, and from time to time, change the authorized number of members of the DRC, but the number of members shall not be less than three (3)

The DRC's approval of any proposed modification, addition or alteration shall be made in accordance with the authority granted under the Master Declaration. Considerations shall include workmanship, overall design and harmony with existing structures, location relative to surrounding structures, topography and finish grade elevations. The Committee may determine to enforce or waive, in whole or in part, any or all of these Guidelines, including Site Specific Requirements.

C. Who is subject to the procedures set forth in these Guidelines?

The Homeowner, along with his/her contractor desiring to undertake any modification, addition or alteration within the boundaries of Castlewood Ranch, is responsible for complying with the provisions of these Guidelines, initiating the reviews and obtaining the approvals required by these Guidelines. There are no exemptions or automatic approvals and each application shall be reviewed on an individual basis.

D. What constitutes a "Modification, Addition or Alteration"?

A modification, addition or alteration is an exterior change to any residential or non-residential structure and its associated improvements, including, but not limited to landscaping, fencing, signage and lighting (whether permanent or temporary) that is constructed or installed on a site within the boundaries of Castlewood Ranch.

E. Application Review Procedures

An application for DRC review is attached to this document as Appendix B. Additional copies and information regarding design review procedures may be obtained from a member of the DRC or the Master Association's management company, if applicable. Six (6) complete copies of all applications for approval of a modification, addition or alteration and other related materials, shall be submitted to the DRC Chairperson at the principal office of the Master Association.

F. Submittal and Response

All submittals required by Section II of these Guidelines must be received, reviewed and approved by the DRC prior to any commencement of modification, addition or alteration, or other Lot disturbance. The DRC will generally render and mail its written decision within ten (10) business days after the DRC meeting at which the application for approval is considered. The address of the DRC shall be the principal office of the Homeowners' Association.

G. Meeting Schedule of the DRC

At least once monthly, the DRC will convene meetings for the review of applications on a schedule and at a location to be established by the DRC from time to time.

II. SPECIFIC TYPES OF IMPROVEMENTS

A. Introduction

These "Design Guidelines and Application Review Procedures" are intended to provide the framework for design and development standards, based upon which the Homeowner, contractor and the DRC will be able to make informed decisions related to all exterior design elements within Castlewood Ranch. **UNLESS OTHERWISE SPECIFIED, PLANS OR DRAWINGS FOR A PROPOSED IMPROVEMENT MUST BE SUBMITTED TO THE DRC AND THE WRITTEN APPROVAL OF THE DRC MUST BE OBTAINED BEFORE THE IMPROVEMENT IS MADE.**

These Guidelines contain both rules and informational direction. Where the terms "shall" or "shall not" are used in a statement, the statement constitutes a binding rule. Where the terms "preferred" or the phrase "the DRC may permit" are used in a statement, the statement constitutes information direction provided for the guidance and convenience of Homeowners or contractors, and shall not create any duty of the DRC to approve or permit the design elements referred to in such statement, nor shall any Homeowner or contractor rely in any manner upon the DRC's potential approval of such design element, which approval shall remain within the DRC's sole discretion.

However, once a proposed design element is approved, such decision is mandatory unless modified with the approval of the DRC.

Where the provisions of any applicable Site Specific Requirements conflict with the provisions of this Section II, the applicable Site Specific Requirements shall be controlling. Where the provisions of applicable Town of Castle Rock or Douglas County standards are more restrictive than the provisions of these Guidelines (including Site Specific Requirements), the applicable governmental provisions shall be controlling. No variance from Town of Castle Rock or Douglas County standards may be requested unless the prior written approval of the DRC has first been obtained.

B. List of Improvements

1. Accessory Buildings (see Appendix H and accompanying detail sketch)

DRC approval is required. Approval shall be based upon quality of workmanship, design, materials and colors of external design with existing structures, and location in relation to surrounding structures, topography and finish grade elevations measured by the following standards:

- a) Must be of the same or generally recognized as complementary architectural style and color as that of the residence.
- b) Maximum size will be 8'x10'x5' in height, including skids, foundation and/or

concrete slab. Requests for approval will be reviewed on a case-by-case basis, taking into account the lot size and proposed location of the accessory building.

c) Must be screened from view of the street by a fence or landscaping. Shrubs and/or trees equal to $\frac{3}{4}$ the height of the accessory building at planting may be required for screening purposes. Quantity, size and location of vegetation will be subject to the DRC's discretion.

d) Must be located in side or rear yard. Roof shall be the same as the existing residence. Materials other than wood, Masonite or that resembling the home will be discouraged.

2. Additions, Expansions or Reconstruction

DRC approval is required. Additions, expansions or reconstruction to a residence will require submission of detailed plans and specifications.

3. Address Numbers

DRC approval is required for any alterations to original address numbers provided by the Builder.

4. Advertising

See Signs.

5. Air Conditioning Equipment

DRC approval is required. Air conditioning equipment installed in the side yard should not be immediately visible to adjacent property owners and should be installed in such a way that any noise to adjacent property owners is minimized. Installation of air conditioning equipment on the roof of a residence or in any window is prohibited.

6. Antennae

DRC approval is required.

7. Arbors

DRC approval is required. See Gazebos.

8. Awnings

DRC approval is required. The color must be the same or generally recognized as a complementary color to the exterior of the residence.

9. Balconies

DRC approval is required. See Decks.

10. Basketball Backboards

DRC approval is required. No basketball backboards may be attached to a structure. Freestanding basketball backboards shall be made of standard manufacturers' materials and colors. Temporary, portable backboards and poles may not be used within public or private

streets and shall be stored out of view from adjacent properties and streets except when in use.

11. Bird Baths / Fountains

See Statues.

12. Bird Houses / Bird Feeders

DRC approval is required for more than two or for any one larger than four (4) cubic feet.

13. Cable TV Wiring / External Wiring

Cable lines or other external wiring running from the cable box to the residence shall be properly buried. Cable lines running on the siding of the residence shall be properly hidden so as not to be visible from the street or neighboring properties. Cable lines must run parallel with all siding and trim boards and must be painted to match the existing color(s) of the residence.

14. Carports

DRC approval is required.

15. Circular Driveways

See Driveways.

16. Clotheslines / Hangers

No outdoor clotheslines or hangers may be placed on any Lot.

17. Decks

DRC approval is required. Decks must be installed as an integral part of the residence and patio area. Must be located so as not to obstruct or significantly diminish the view of nearby property owners or create an "unreasonable" level of noise for adjacent property owners. All vertical deck railings and support columns shall be painted or stained the body or trim color of the Residence. All deck support columns shall be enlarged to a size greater than the deck's dimensional lumber in a style that matches the house.

18. Dog Runs

DRC approval is required. The following criteria shall be adhered to:

- a) Must be located in a rear yard abutting the Residence.
- b) Must be screened from view by use of the Privacy Yard Fencing depicted in Appendix F.
- c) Must be limited in size to 200 square feet and be no more than five (5) feet in height.
- d) Must be constructed of chain link or wire mesh with wood or metal posts.

19. Doors

DRC approval is not required for the replacement or repainting of the existing main entrance door(s) to a residence or accessory building if the material and color exactly match those existing on the residence.

- a) Storm Doors: DRC approval may be required. Colors selected should be white or the body or trim color of the residence. Homeowners wishing to utilize a different storm door or color must first obtain approval from the DRC.
- b) Security Doors: All security doors and windows must be approved by the DRC prior to installation.

20. Drainage

Drainage shall conform to the Master Declaration of Covenants, Conditions and Restrictions for Castlewood Ranch and shall comply with all other applicable regulations, including, but not limited to, any Town of Castle Rock or Douglas County regulations and applicable FHA / VA regulations. Proper drainage of the lot is the responsibility of the Homeowner and should not be altered from the original grading completed by Builder.

21. Driveways

DRC approval is required for the extension or expansion of driveways. Any approved driveway expansion shall not be for the intention of promoting the parking or storage of any vehicle on the driveway or side yard.

22. Evaporative Coolers

See Air Conditioning Equipment.

23. Exterior Lighting

See Lights and Lighting.

24. Fencing

Fences planned to be located in the rear or side yards along property lines may be constructed without DRC approval if they are constructed exactly in accordance with the detailed specifications shown in these Guidelines. Fencing within Castlewood Ranch is divided into three categories, each of which is subject to the specific design criteria set forth below:

a) Perimeter Fencing

Perimeter Fencing is located adjacent to principal frontage roads and Planning Area boundaries, with exposure to principal roadways and common areas. The initial Perimeter fencing design shall be determined by the Declarant and installed by either the Declarant or Builder in a Planning Area, and shall conform to one of the two Standard Perimeter Fencing designs depicted in Appendix D. Fences installed by the Declarant or its Builders shall not be altered in any way without the prior written consent of the Declarant.

b) Open Space Fencing

Open Space fencing is the rear and side yard fencing located adjacent to open space areas, and shall conform to the Standard Open Rail Fencing design depicted in Appendix E. Any fence exposed to a street or open space area shall have its finished side facing such street or open space and **shall be stained the color specified in Appendix E. All Open Space fencing must be stained the color specified in Appendix E within six (6) months of fence installation.**

c) Yard Fencing

Yard Fencing is the fencing located on individual Lots, but not adjacent to open space areas. Yard Fencing shall conform to one of the two Standard Yard Fencing designs depicted in Appendix F, and except where otherwise dictated by applicable "Site Specific Requirements," Yard Fencing shall comply with the following generally applicable requirements:

Use of open rail fences on interior side yard lot lines is encouraged and shall comply with the Standard Yard Fencing detail shown in Appendix F. Any required fencing will be installed prior to initial occupancy of the Residence. Builders shall provide side yard "wing fencing" between residences that shall conform to one of two Standard Yard Fencing designs depicted in Appendix F. **All Yard Fencing must be stained the color specified in Appendix F within six (6) months of fence installation.**

General Provisions:

There shall be no gaps between fences.

Open rail fences backing to community open space or common areas shall not have gates. The DRC may permit gates in open rail or privacy fence side yard (wing fence) applications in order to allow homeowner access from front to rear yards (see Appendix F for required open rail gate design detail). **All gates must match the appearance of the contiguous fence in style (open rail or privacy), height, materials and stain color.**

The DRC may permit grid wire, for the containment of pets or small children, to be attached to an open rail fence as depicted in Appendix F.

The front yard of a residence shall not be fenced.

Where Yard Fencing abuts Open Space Fencing, the yard fence shall match the height of the open space fence for a distance of at least six (6) feet from the point of intersection with such Open Space Fencing.

25. Flagpoles and Flags

A maximum of one 3' x 5' flag (US or Colorado), attached to a pole no more than 6' long and 2" in diameter, may be affixed to the front or back of a residence without DRC approval. When

affixed, the top of the flagpole may not be higher than 9' above the front door entry floor elevation.

26. Gardens – Flower

DRC approval is not required. All flower gardens shall be weeded, cared for and fully maintained. Flowers should not exceed three feet in height unless approved by the DRC.

27. Gardens – Vegetable

DRC approval is not required if no more than 100 square feet of yard is utilized and plants do not exceed the height of the rear yard fence at its lowest point. Must be located in the rear or side yard and screened or substantially screened from view of adjacent homeowners and street(s). Vegetable gardens are not allowed in the front of a home or in a side yard that is not enclosed by a fence.

28. Gazebos / Arbors

DRC approval is required. Must be an integral part of the landscape plan. Must not obstruct a neighboring property owner's view. Must be similar in material and design to the residence, must be painted the body or trim color of the residence and must comply with all existing setback requirements. Where applicable, roof material must match that of the residence.

29. Grading and Grade Changes

See Drainage.

30. Greenhouses / Greenhouse Windows

DRC approval is required.

31. Hot Tubs / Jacuzzi's

DRC approval is required. Must be an integral part of the deck or patio area. Location shall not create an unreasonable noise level for nearby property owners.

32. Irrigation Systems

Underground manual or automatic irrigation systems do not require approval of the DRC.

33. Kennels

See Dog Runs. If a kennel structure is desired, DRC approval is required.

34. Landscaping

DRC approval is required prior to any landscape installation. A production Builder of pre-approved models may satisfy the requirements of this section by submission to and approval by the NCC of prototypical landscaping schemes to be used in connection with all such pre-approved models. The following general Landscaping Guidelines should be adhered to:

a) General Landscape Design

The Landscaping Standards for Castlewood Ranch have been developed in an effort to allow personal expression on individual properties while maintaining

the overall theme and natural beauty of the community. The Design Review Committee shall review all landscape plans to ensure that proposed plantings and materials enhance the overall cohesiveness of the community.

The use of indigenous plant and landscape materials is strongly encouraged. In general, traditional ornamental landscaping will be allowed immediately adjacent to homes; however, as the landscape feathers into native areas, the use of indigenous plant materials will be strongly encouraged. Some of these plant materials may not necessarily be native to the area, however they should be similar in appearance, water requirements and hardiness. Invasive or exotic species of plants will not be allowed. See Appendix G for "Recommended Plant Listing".

Landscaped areas should compliment the home design, enhance public views, designate buffers and transitions and provide screening. Informal groupings of colorful shrubs and flowers are encouraged to provide visual interest. Linear, hedgerow type plantings along fences and property lines are strongly discouraged. All plant materials used shall conform to the standards of The American Association of Nurserymen and the Colorado Nurserymen Association.

b) Xeriscape Design

The concepts of Xeriscape design should be utilized in an effort to conserve water. Xeriscape does not mean "zeroscape" or the sole use of rock, gravel, yucca or cacti. Xeriscape is a term that was coined in 1981 by the Associated Landscape Contractors of Colorado and was first used publicly in the Denver area in 1982. The principles are basic, promoting low water use through water-efficient landscaping. Highly irrigated areas may still exist in Xeriscape designs, however plants must be located and grouped properly and should be thoughtfully combined according to their watering requirements. There are seven fundamental considerations regarding Xeriscaping:

Plan and design comprehensively from the beginning. Create practical turf areas of manageable sizes and shapes, using appropriate grasses. Use appropriate plants and zone the landscaping according to the water needs of various plants. Consider improving the soil with organic matter such as compost or manure.

Required mulch materials shall include natural wood chips, river rock (1.5" – 3"), cobblestone (6" – 8"), and crushed granite or rhyolite.

Irrigate efficiently with properly designed systems, including hose-end equipment, by applying the right amount of water at the right times. When appropriate, temporary underground, drip or other low water consumption irrigation systems will be advocated. The Town of Castle Rock codes and regulations must be followed for all irrigation systems.

Maintain the landscape appropriately by mowing, pruning, etc.

c) Front Yard Landscaping

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Except for Residences first occupied during the winter months, where, upon prior approval by the DRC, landscaping may be delayed until the immediately following spring, front yard landscaping shall be installed before the initial occupancy of the Residence:

The front yard shall be sod or a combination of sod and shrubs, and shall be installed on both sides of the driveway. Gravel, stone or wood chip front yards are prohibited. A sprinkler system shall be installed in front yards. Sprinkler heads shall be oriented to prevent direct spraying onto fences or into natural areas where added irrigation may encourage uncontrolled growth.

d) Side Yard Landscaping

In any location where the side yard of a corner lot is exposed to a street in front of a fence, the side yard shall be landscaped at the same time as the front yard. The side yard landscaping shall be visually integrated with the front yard landscaping and must include irrigated sod, which shall not be held back more than five (5) feet from the foundation where directly exposed to street view.

e) Rear Yard Landscaping

Rear yard landscaping shall be completed in accordance with a landscape plan approved by the DRC within twelve (12) months after the date of initial occupancy of the Residence, unless the Residence is situated on the perimeter of a Planning Area, then within six (6) months after the date of initial occupancy.

NOTE: All Residences backing to the perimeter of a Planning Area shall be required to plant a minimum of two 1-1/2" caliper deciduous trees OR two 6' minimum height evergreen trees OR a combination of the above, within the above-described schedule for landscaping completion.

35. Latticework

DRC approval is required for any type of trellis or latticework.

36. Lights and Lighting

DRC approval is not required for exterior lighting if in accordance with the following Guidelines:

- a) Exterior lights shall be simple and conservative in design and be as small in size as is reasonably practical.
- b) Exterior lighting shall be directed toward the residence and be of low enough wattage to minimize glare to neighbors and other homeowners.
- c) Lighting should not spill over into neighbors' yards.
- d) Lighting for walkways generally shall be directed toward the ground.
- e) Lighting fixtures shall be dark colored in order to be as unobtrusive as possible.
- f) Any variance from these Guidelines or use of high-wattage spotlights or

floodlights requires DRC approval.

37. Mailboxes

The DRC shall permit mailboxes that conform to the Standard Mailbox Design outlined by the New Construction Committee for each Planning Area. All other changes to a mailbox, structure or location must first be approved by the NCC, and if necessary, by the United States Postal Service.

38. Painting

DRC approval is not required if colors and color combinations are identical to the original approved color(s) of the residence. All other color changes must first be approved by the DRC prior to paint application.

39. Patio Covers

DRC approval is required. Must be constructed of wood or a material generally recognized as complementary to the residence, and must be similar or generally recognized as complementary to the color or colors of the residence.

40. Patios – Enclosed

See Additions and Expansions.

41. Patios – Open

DRC approval is required. Must be an integral part of the landscape plan and must be located so as not to create an unreasonable noise level for neighboring property owners. Must conform to all existing setback requirements.

42. Paving

DRC approval is required, regardless of whether for walks, driveways, patio areas or other purposes, and regardless of the product used, which may include, but is not limited to concrete, asphalt, brick, flagstones, stepping stones or pre-cast patterned or exposed aggregate concrete pavers used as the paving material.

43. Pipes

See Utility Equipment.

44. Play and Sports Equipment (see Appendix I and accompanying detail sketch)

DRC approval is required for all play and sports equipment. All equipment shall be located in a fenced yard area, except where otherwise stipulated in these Guidelines. Use of the equipment should not create an unreasonable level of noise for neighboring property owners.

45. Playhouses

DRC approval is required. Must be an integral part of the landscape plan, designed so as not to obstruct a neighboring property owners' view. Must be similar in material and design to the residence, must be painted or stained the body or trim color of the residence and must comply

with all existing setback requirements. Where applicable, roof material shall match that of residence.

46. Poles

See Flagpoles, Utility Equipment, Basketball Backboards, etc.

47. Pools

DRC approval is required. No swimming pools shall be installed above ground. Pumps and related equipment and Jacuzzis or hot tubs shall be concealed so as not to be visible from neighboring properties and streets.

48. Radio Antennae

See Antennae.

49. Rooftop Equipment

DRC approval is required. Must be painted to blend with the roof and be installed in order to minimize the visibility of the equipment on the roof.

50. Saunas

DRC approval is required.

51. Screen Doors

See Doors.

52. Seasonal Decorations

DRC approval is not required. Decorations may be put out no more than thirty days in advance of a holiday and shall be removed within fifteen days after the holiday.

53. Sewage Disposal System

DRC approval is required. Cesspools, septic tanks or other non-central systems are not permitted.

54. Shutters – Exterior

DRC approval is not required if the same material, color and design as the original shutters on the residence are utilized.

55. Siding

DRC approval is required.

56. Signs

DRC approval is required for most signs, however approval is not required for temporary signs advertising property for sale or lease that are no more than three (3) feet in height and 6 square feet in area. Following generally applicable signage requirements:

- a) There shall be no more than one sign per lot permitted.

- b) Signs shall be installed at least 10' back from a public walkway or sidewalk and must be placed only in the front yard of the residence being advertised for sale or lease.
- c) "Sold" signs shall be removed within 24 hours following closing or tenant occupancy, unless otherwise required by law.
- d) All other signs, including address numbers and nameplates, shall be approved by the DRC.
- e) Lighted signs are prohibited on any Lot, unless associated with a Builder in Castlewood Ranch or with the Castlewood Ranch Master Association.

57. Skylights

DRC approval is required.

58. Solar Energy Devices

DRC approval is required. Collectors shall be flush with the roof surface and non-reflective finishes are preferred. See Rooftop Equipment.

59. Spas

See Hot Tubs.

60. Sprinkler Systems

See Irrigation Systems.

61. Statuary – Birdbaths, Sculptures, Fountains, etc.

DRC approval is required unless statuary is installed in the rear yard, at a maximum height of four feet, and is not visible from neighboring properties or streets.

62. Storage Sheds

See Accessory Buildings.

63. Swamp (Evaporative) Coolers

Not permitted.

64. Swing Sets

See Play and Sports Equipment.

65. Television Antennae

See Antennae.

66. Temporary Structures

DRC approval is required. Tents, shacks, temporary structures or temporary buildings are not permitted without the prior approval of the DRC and, except in unusual circumstances, such consent will not be given. Tents, freestanding awnings or canopies for occasional use will not

require DRC approval if left up no longer than 72 hours within any seven-day period, and if not placed in the front yard of the residence.

67. Trash Containers and Enclosures

Refuse, garbage, trash, lumber, grass, shrub or tree clippings, plant waste, compost, metal, bulk materials, scrap, refuse or debris of any kind shall be deposited in closed garbage cans or sealed garbage bags and taken to the edge of the street for scheduled collection not sooner than twelve hours before such collection is scheduled. Emptied cans shall be removed from the edge of the street as soon as practical following collection. Except when temporarily placed at the edge of the street for scheduled collection, all garbage cans and other refuse containers shall be located in a suitable storage area within the garage of the Residence, so as not to be visible from neighboring properties and streets.

68. Tree Houses

Not permitted.

69. Utility Equipment

Installation of utilities or utility equipment requires DRC approval, unless located underground or within an enclosed structure. Pipes, wires, poles, utility meters and other utility facilities shall be kept and maintained, to the extent reasonably possible, underground or within an enclosed structure.

70. Vents

See Rooftop Equipment.

71. Walls – Retaining

DRC approval is required.

72. Water Systems

DRC approval is required.

73. Weathervanes

DRC approval is required.

74. Wells

Not permitted.

75. Window Bars

DRC approval is required. Suggested guidelines for application are mount inside the home and match the existing muntin bar design in the glass. If the residence's windows do not have a muntin bar design in the glass, then window bars still must have the muntin bar design to match the existing homes in that particular Planning Area. All bars must match the existing window frame color.

76. Windows and Window Tinting

DRC approval is required. Only non-glare or non-reflective finishes will be considered.

77. Window Well Covers

Window well covers which meet the following guidelines, are permitted without DRC approval:

- a) Cover must be made of clear plastic or metal and be flush with the window well.
- b) Cover shall extend no more than three inches beyond the edge of the window well and no more than two feet up on the foundation.
- c) All other types of window well covers shall first be approved before installation.

78. Wood Storage

DRC approval is not required. Storage area must be located in the rear yard, adjacent to the residence, with wood neatly stacked, and must be located so as not to block any existing drainage pattern on the Lot.

III. MISCELLANEOUS

A. Authority and Enforcement

The Design Review Committee has adopted these "Design Guidelines and Application Review Procedures for Home Improvements and Landscaping" pursuant to Article 4, Section 4.1 of the Master Declaration of Covenants, Conditions and Restrictions for Castlewood Ranch. The DRC is directed to prepare and, on behalf of the Board of Directors, promulgate these Guidelines and Procedures, which shall be the Guidelines and Procedures of the Master Association. The DRC has the sole and full authority to prepare and amend such Guidelines and Procedures. In addition to any other available remedies, provisions for enforcement of the Declaration, as set forth in Article 4 of the Master Declaration, shall apply to these Guidelines and Procedures.

B. Waiver, Amendment and Third Party Benefit

The DRC maintains the right from time to time, at its sole discretion, to waive, amend or modify these Guidelines and Procedures. Neither the DRC nor its agents, representatives or employees shall be liable for failure to follow these Guidelines and Procedures as defined herein. These Guidelines and Procedures confer no third party benefit or rights upon any entity, person, Lot owner or Contractor.

C. Non-Liability of the DRC

Neither the DRC nor its respective members, Secretary, successors, assignees, agents, representatives, employees or attorneys shall be liable for damages or otherwise to anyone submitting plans to it for approval, or to any Builder by reason of mistake in judgment,

negligence or nonfeasance, arising out of any action of the DRC with respect to any submission or for failure to follow these Guidelines and Procedures.

The role of the DRC is directed toward review and approval of use, site planning, appearance, architectural vocabulary and aesthetics. The DRC assumes no responsibility with regard to architectural design or construction, mechanical, plumbing or electrical design, construction methods or technical suitability of materials.

D. Accuracy of Information

Any person submitting plans to the DRC shall be responsible for verification and accuracy of all components of such submittal, including, without limitation, all site dimensions, grades, elevations, utility locations and other pertinent features of the site plan.

E. Lot Owner and/or Contractor Representation

Each Lot owner and Contractor represents, by the act of entering into the review process with the DRC, that all representatives of such Lot owner or Contractor, including, but not limited to the Lot owner and/or Contractor's architect, engineer, subcontractors and their agents and employees, shall be made aware by such Lot owner or Contractor of all applicable requirements of the DRC, and shall abide by these Guidelines and Procedures and the Master Declaration, with respect to approval of development plans and specifications.

F. Conflicts with the Master Declaration of Covenants, Conditions and Restrictions

In the event of a conflict between these Guidelines and Procedures and the terms of the Master Declaration, the Master Declaration shall prevail.

G. Castlewood Ranch Master Association Use Restrictions

The Board of Directors of the Castlewood Ranch Homeowners' Association may from time to time promulgate use restrictions governing the use of Lots and Association common areas. Each Lot owner should review any such use restrictions to ensure that Lot improvements comply with such use restrictions.

H. Regulatory Compliance

It is the responsibility of the Lot owner and Contractor to obtain all necessary permits and to ensure compliance with all applicable governmental regulations and other requirements. Plans submitted for DRC review shall comply with all applicable building codes, zoning regulations and the requirements of all governmental entities having jurisdiction over the Building Project or property within Castlewood Ranch. Regulatory approvals do not pre-empt the design review authority of the DRC, and DRC approval does not incorporate any governmental approvals, which governmental approvals shall be the sole responsibility of the Lot owner or Contractor.

I. Final Approval

In the event the DRC fails to approve or disapprove such plans, or fails to request additional information reasonably required, within 45 days following a complete submittal, the plans shall be deemed approved. Notification of final DRC approval constitutes a binding agreement between the Lot owner, the Contractor and the Castlewood Ranch Homeowners' Association. Deviation from the approved plans is not permitted, unless such proposed deviation has been submitted to the DRC and has been expressly approved in writing by the DRC.

The DRC may, in its sole discretion during a Design Review meeting, assist the Lot owner or Contractor by suggesting alternative design solutions; however, such suggestions shall not necessarily constitute an approved design solution and the DRC shall have no responsibility for ensuring or making any determination regarding compliance of such suggested design solutions with applicable governmental regulations and other requirements.

J. Appeals

Within ten (10) business days after notice of a DRC decision has been issued, the Lot owner may file with the DRC Secretary, a written request that the DRC reconsider such decision. Any such request for reconsideration shall include a statement of the basis for such request and technical design information supporting such request. The DRC may require additional information in connection with any request for reconsideration. The Lot owner's written request for reconsideration may include a request to personally address the DRC at its next scheduled meeting.

All reconsiderations shall be reviewed on a case-by-case basis, and the granting of a request for reconsideration with respect to one matter does not imply or warrant that a similar request will be granted with respect to any other matter. Each case will be reviewed on its own design merits, and in light of the overall objectives of these Guidelines and Procedures.

K. Variances

If the Lot owner or his/her Contractor or designer, feel that any portion or portions of these Guidelines and Procedures should be waived, based upon the design characteristics of a particular Building Project, then the Lot owner may apply for a variance from such portion or portions of these Guidelines.

The burden of establishing why a specific portion of these Guidelines and Procedures should be waived lies with the Lot owner. The Lot owner shall provide reasonable assurance in the application for variance that the overall intent of these Guidelines and Procedures will be achieved with the Building Project as proposed.

The DRC, in its sole discretion, may grant or deny the variance applied for, and the granting of a particular variance with respect to one Lot does not imply or warrant that a similar variance request will be granted for any other Lot. Each variance request will be reviewed on a case-by-case basis in light of the overall objectives of these Guidelines and Procedures.

L. Notice of Noncompliance

If, as a result of inspections or otherwise, the Design Review Committee finds that any improvement to the Property has been done without first obtaining approval of the DRC, or was not done in complete conformity with the description and materials furnished to, and any conditions imposed by, the DRC, or was not completed within twelve (12) months after the date of approval by the DRC, or such other period as may have been specified in writing by the DRC, then the DRC shall notify Applicant in writing of the noncompliance, which notice shall be given within sixty (60) days after DRC receipt of Applicant's Notice of Completion. This "Notice of Noncompliance" shall specify the particulars of the noncompliance and shall require Applicant to take such action as may be necessary to remedy the noncompliance.

M. Failure of Committee to Act After Completion

Failure of the Design Review Committee to inspect the work shall not relieve Applicant from its obligations to comply with the Master Declaration or all conditions of approval, or prevent the DRC from pursuing all remedies available to it in the event of any noncompliance.

N. Correction of Noncompliance

If the Design Review Committee determines that a noncompliance exists, the Applicant shall remedy or remove the same within a period of not more than forty-five (45) days from the date of receipt by Applicant of the DRC's Notice of Noncompliance. If the Applicant does not comply with the Committee ruling within such period, the Committee may, at its option, record a Notice of Noncompliance against the real property on which the noncompliance exists, may enter upon the property and remove the non-complying improvement to the property, or may otherwise remedy the noncompliance; the Applicant shall reimburse the Master Association, upon demand, for all expenses, including attorney fees, incurred therewith. If such expenses are not promptly repaid to the Master Association by the Applicant or Lot owner, then the Board may levy a Reimbursement Assessment against the Lot owner for such costs and expenses. The Applicant and Lot owner shall have no claim for damages or otherwise on account of the entry upon the property and removal of the non-complying improvement to the property.

APPENDIX A

MEMORANDUM OF ADOPTION
OF DESIGN GUIDELINES AND APPLICATION REVIEW PROCEDURES
FOR HOME IMPROVEMENTS AND LANDSCAPING

The undersigned members of the Design Review Committee of the Castlewood Ranch Master Association, constituting all of the members thereof, hereby adopt as of April ____, 2000, these "Design Guidelines and Application Review Procedures for Home Improvements and Landscaping", pursuant to Article 4, Section 4.1 of the Master Declaration of Covenants, Conditions and Restrictions for Castlewood Ranch, recorded in the Real Property Records of the County of Douglas, Colorado.

A copy of the "Design Guidelines and Application Review Procedures for Home Improvements and Landscaping" is attached hereto and incorporated herein by reference.

APPENDIX B

CASTLEWOOD RANCH DESIGN REVIEW COMMITTEE

MODIFICATION, ADDITION OR ALTERATION

APPLICATION FOR REVIEW REQUEST FORM

HOMEOWNER

NAME: _____

ADDRESS: _____

PLANNING AREA: _____ LOT#: _____

HOME PHONE: _____ WORK PHONE: _____

MY REQUEST INVOLVES THE FOLLOWING TYPE OF IMPROVEMENT:

Accessory Building _____ Air Conditioning _____ Basketball Backboard _____

Deck/Patio Slab _____ Dog Run/Kennel _____ Driveway/Walkway Addition _____

Fencing _____ Hot Tub _____ Landscaping _____ Painting _____

Patio Cover _____ Play/Sports Equipment _____ Roofing _____

Room Addition _____ Satellite Dish _____ Screen Door _____

Temporary Structure _____ Window Tinting _____ Other: _____

Description of Improvement(s):

Planned Completion Date for Improvement: _____

I understand and acknowledge that I must receive approval by the Design Review Committee in order to proceed with the above improvement to my property. Further, I understand that DRC approval does not constitute approval by the local building department and that I may be required to obtain a building permit. I hereby authorize members of the Design Review Committee and representatives of the Castlewood Ranch Master Association to enter onto my property for exterior inspection of my improvement(s).

HOMEOWNER SIGNATURE: _____

DATE: _____

DESIGN REVIEW COMMITTEE ACTION TAKEN:

_____ Approved as submitted

_____ Approved subject to the following requirement(s):

_____ Disapproved for the following reason(s):

DRC MEMBER SIGNATURE: _____ DATE: _____

APPENDIX C

DEFINITIONS

All initially capitalized terms contained in the Guidelines and Procedures shall have meanings ascribed to such initial capitalized terms in this Appendix C.

"Application" shall mean an application for the Design Review Committee to review and approve, as required to be submitted under these Guidelines and Procedures, in the form set forth in Appendix B, or in such other form as may be required by the DRC.

"Association" or *"Master Association"*, as defined in Article 2, Section 2.20 of the Declaration, shall mean the Castlewood Ranch Homeowners' Association, a Colorado non-profit corporation.

"Building Project" shall mean the total scheme of improvements constructed or proposed to be constructed upon any Lot.

"Building Setback" shall mean the area, measured from the property line to any structure, which area shall be unobstructed by structures from the ground upward, but which may include surface driveway areas or other similar surface improvements.

"Castlewood Ranch" shall mean the property subject to the Declaration, being located in the Town of Castle Rock, Colorado.

"Common Area" shall mean any portion of Castlewood Ranch identified as a tract, amenity or improvement to be maintained by the Master Association for the common use and enjoyment of property owners.

"Contractor" shall mean any person who has or will become the owner of a Lot, or any person acting as an agent of the owner of a Lot, or a prospective owner of a Lot, seeking approval as required by these Guidelines.

"Declarant" shall mean Castlewood Ranch LLC, a Colorado corporation, and any of its successors and assignees, which are, designated "Declarant" by the previous Declarant, in a recorded amendment to the Declaration.

"Declaration" or *"Master Declaration"* shall mean the Master Declaration of Covenants, Conditions and Restrictions for Castlewood Ranch, recorded in the Real Property Records of Douglas County, Colorado, together with all amendments, supplements or other modifications thereto, made in accordance with the provisions thereof.

"Design Review Committee" or "DRC" shall mean the Committee referenced in Article 4, Section 4.1 of the Declaration and created for the purpose of approving the "Improvement to Property on any Site".

"Guidelines and Procedures" shall mean the "Design Guidelines and Application Review Procedures" adopted by the DRC, and any amendments, supplements or other modifications made thereto in accordance with the provisions of the Declaration. The term "Guidelines and Procedures" expressly includes any and all applicable Site Specific Requirements.

"Lot" shall mean each of the Lots described upon any recorded plat or the property encumbered by the Declaration or any portion thereof, except the Common Area, and excluding property dedicated to any municipality or any other governmental entity. If such Lot is further sub-divided or re-subdivided, or if any such Lot is aggregated with other Lots to form a larger Lot, each of the Lots resulting from such subdivision shall be considered a Lot, and the restrictions of the Declaration shall apply.

"New Construction" shall mean any residential or non-residential structure and associated improvements constructed on a previously undeveloped site within the boundaries of Castlewood Ranch.

"Notice of Noncompliance" shall mean the written notice issued by the DRC specifying particulars of an Applicant's noncompliance and the requirements necessary for remedying the noncompliance.

"Open Space" shall mean areas within Castlewood Ranch, Filings 1 and 2, that are dedicated to be preserved as tracts without residential development, for the use and enjoyment of the public ("Public Open Space") or for the exclusive use and enjoyment by owners of land within Castlewood Ranch ("Private Open Space").

"Person" shall mean a natural person, a corporation, a partnership, trustee or other legal entity.

"Planning Area" shall mean one of the neighborhood subdivisions of Castlewood Ranch.

"Residence" shall mean an individual detached dwelling unit located on a Lot with building setbacks to the front, sides and rear.

"Site Specific Requirements" shall mean any specific requirements imposed with respect to a Planning Area, as promulgated by the DRC, to apply to the Lots in that designated Planning Area.

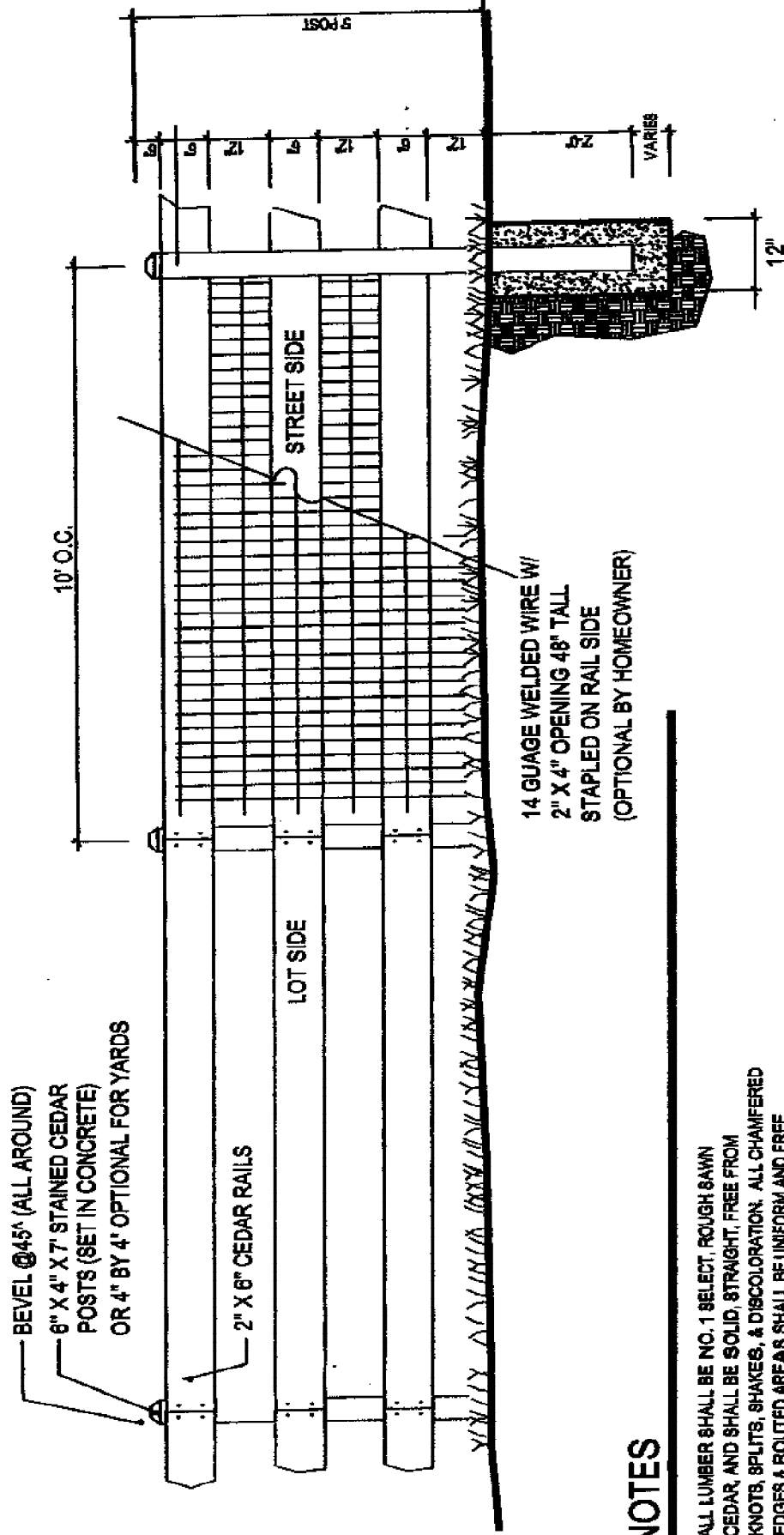
"Square Footage" shall mean the square foot measurement of floor space, exclusive of garages, basements, porches, patios, decks and other appurtenant structural elements.

APPENDIX D

STANDARD PERIMETER FENCING DETAILS (2)

CASTLEWOOD RANCH RAIL FENCE DETAIL

NOT TO SCALE

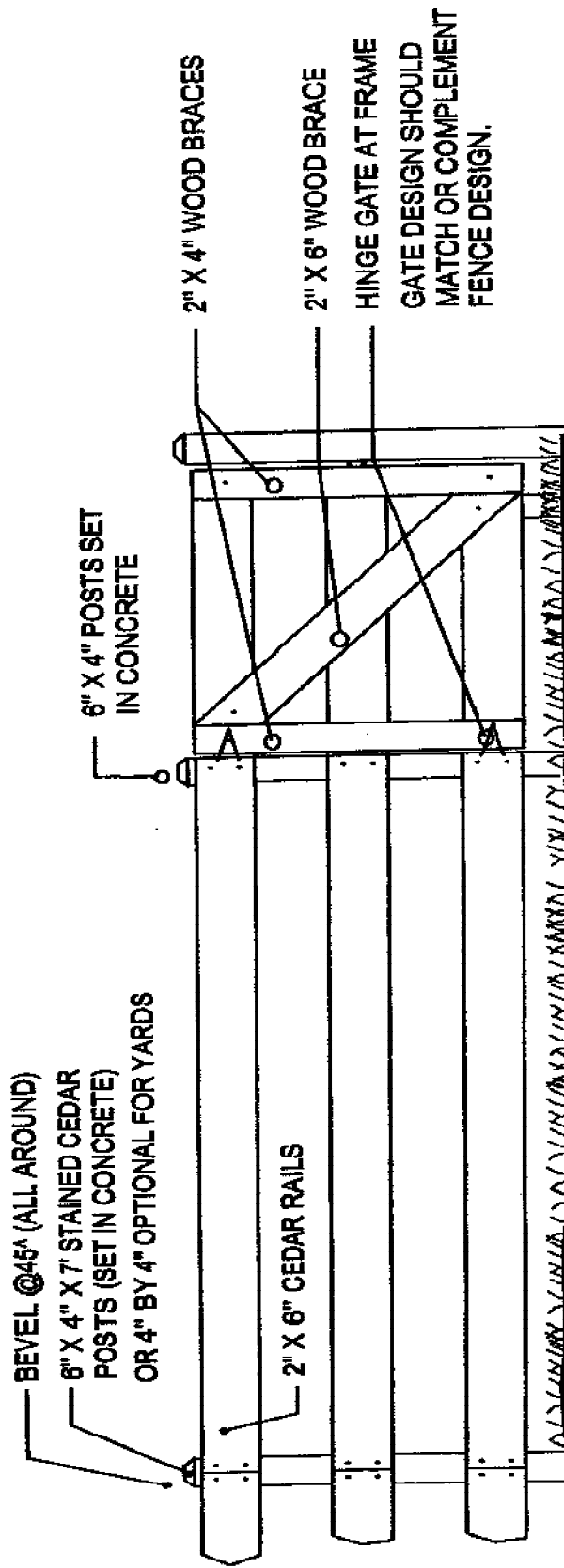


NOTES

1. ALL LUMBER SHALL BE NO. 1 SELECT, ROUGH SAWN CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, & DISCOLORATION. ALL CHAMFERED EDGES & ROUTED AREAS SHALL BE UNIFORM AND FREE FROM SAW MARKS.
2. ALL NAILS, FASTENERS AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED. NAILS SHALL BE SHANK.
3. POST SHALL BE SECURELY BRACED IN THEIR FINAL POSITION A MIN. 24 HOURS BEFORE BOARDS ARE NAILED.
4. ALL EXPOSED LUMBER SHALL BE ALLOWED TO DRY PRIOR TO PAINTING WITH KWAL HOWELLS SEMI TRANSPARENT STAIN AND SEALER, COLOR TO BE BEACHWOOD OR APPROVED EQUAL. FENCE TO BE STAINED WITHIN 6 MONTHS OF INSTALLATION.

CASTLEWOOD RANCH OPEN RAIL FENCE W/GATE

NOT TO SCALE

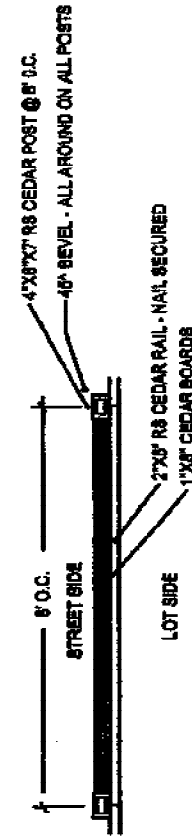
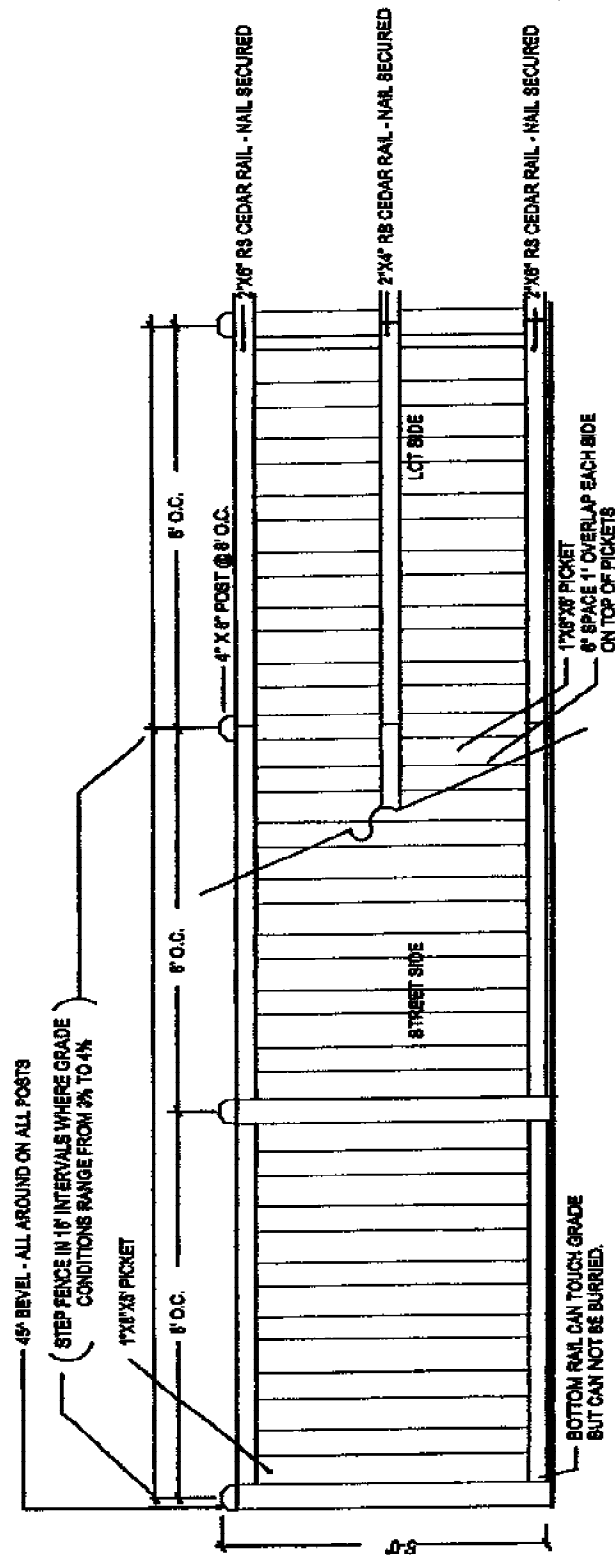


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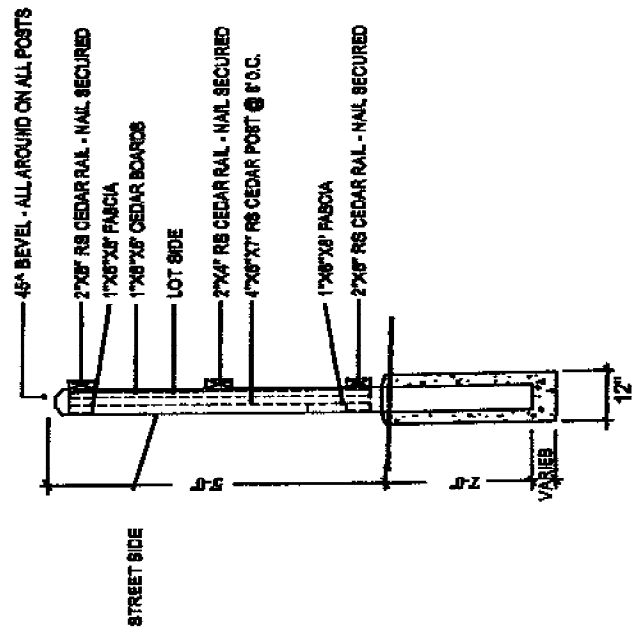
CASTLEWOOD RANCH - PRIVACY FENCE DETAIL

NOT TO SCALE



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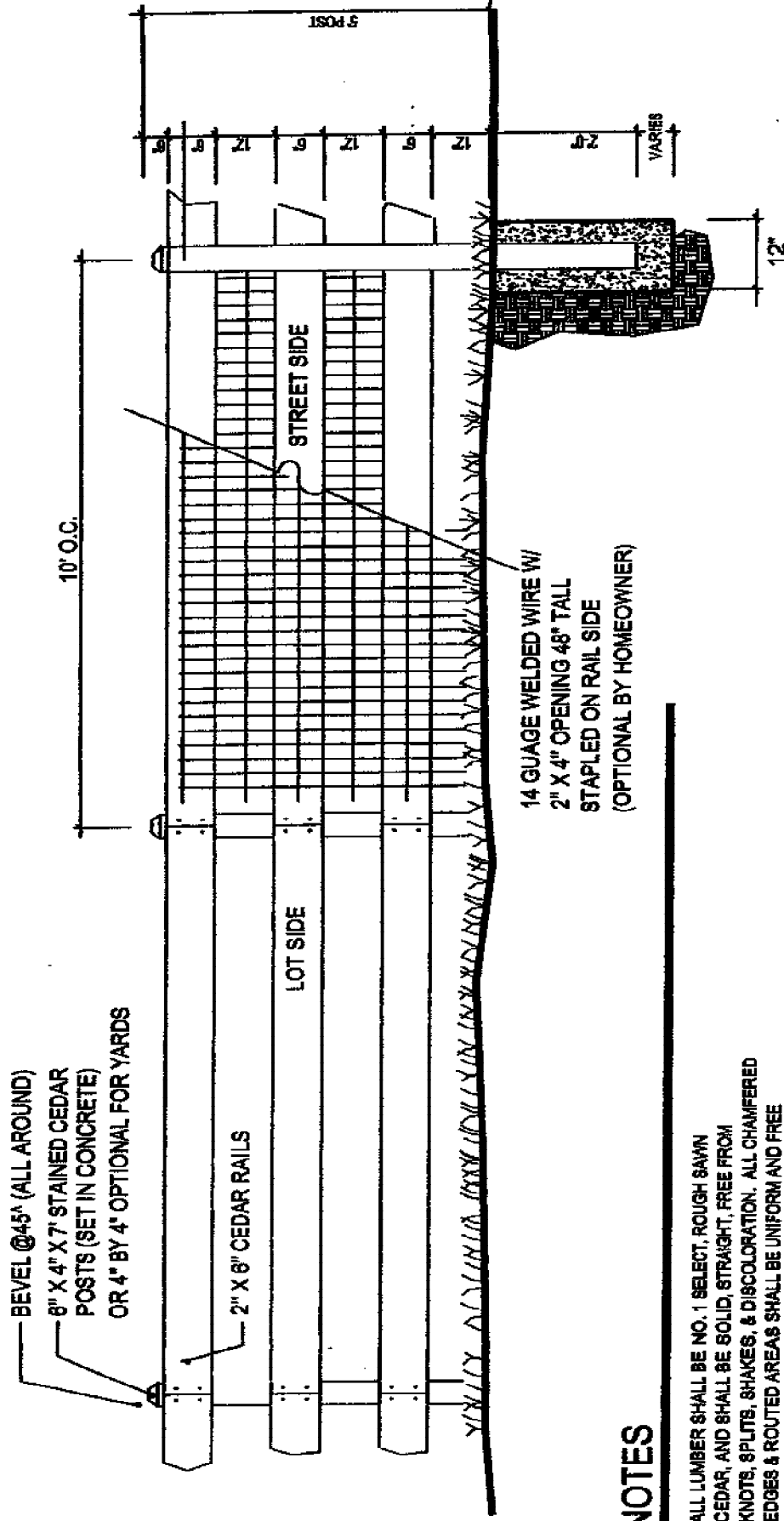


APPENDIX E

STANDARD OPEN SPACE FENCING DETAIL (1)

CASTLEWOOD RANCH RAIL FENCE DETAIL

NOT TO SCALE

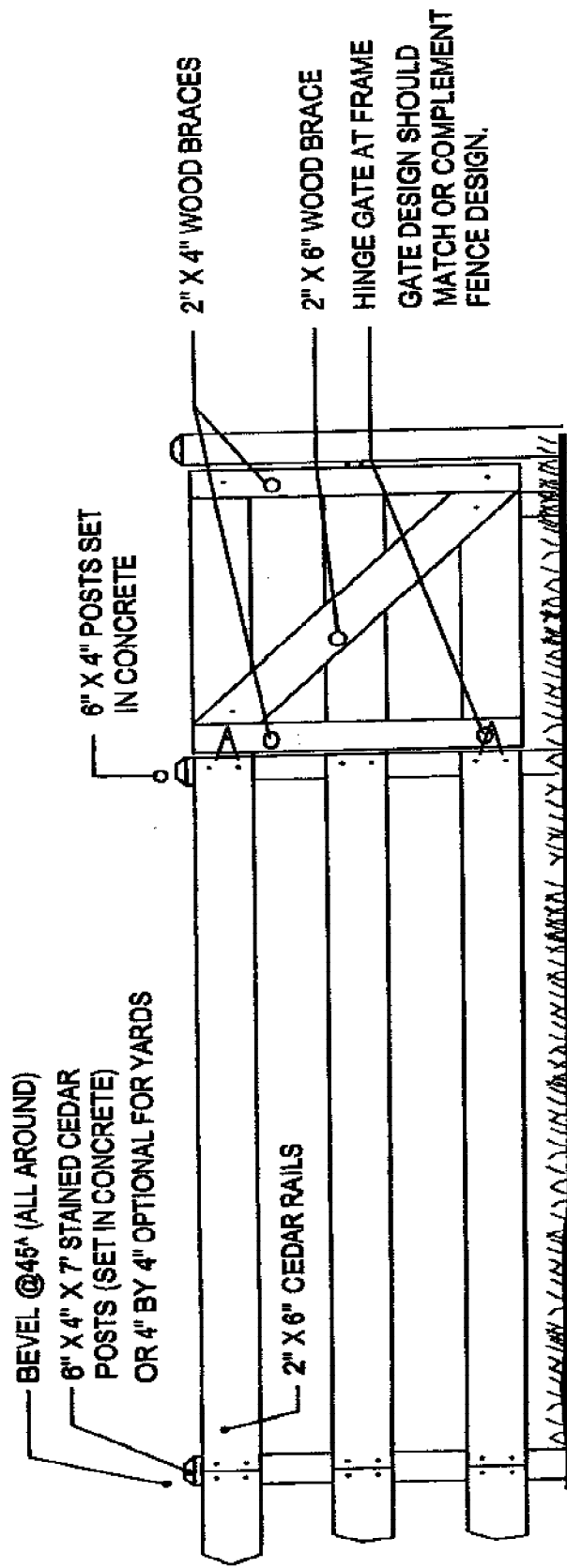


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CASTLEWOOD RANCH OPEN RAIL FENCE W/GATE

NOT TO SCALE



NOTES

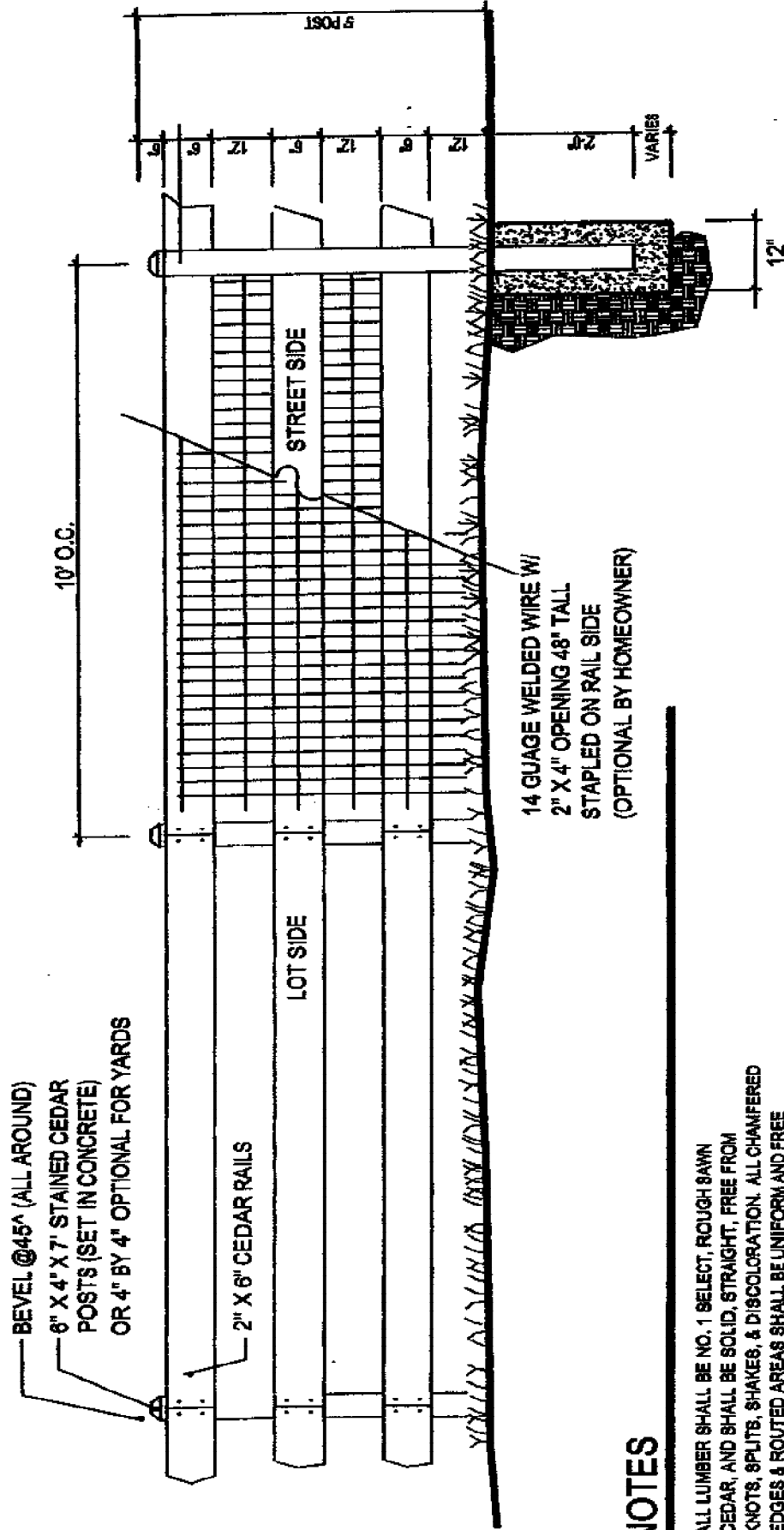
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APPENDIX F

STANDARD YARD FENCING DETAILS (2)

CASTLEWOOD RANCH RAIL FENCE DETAIL

NOT TO SCALE

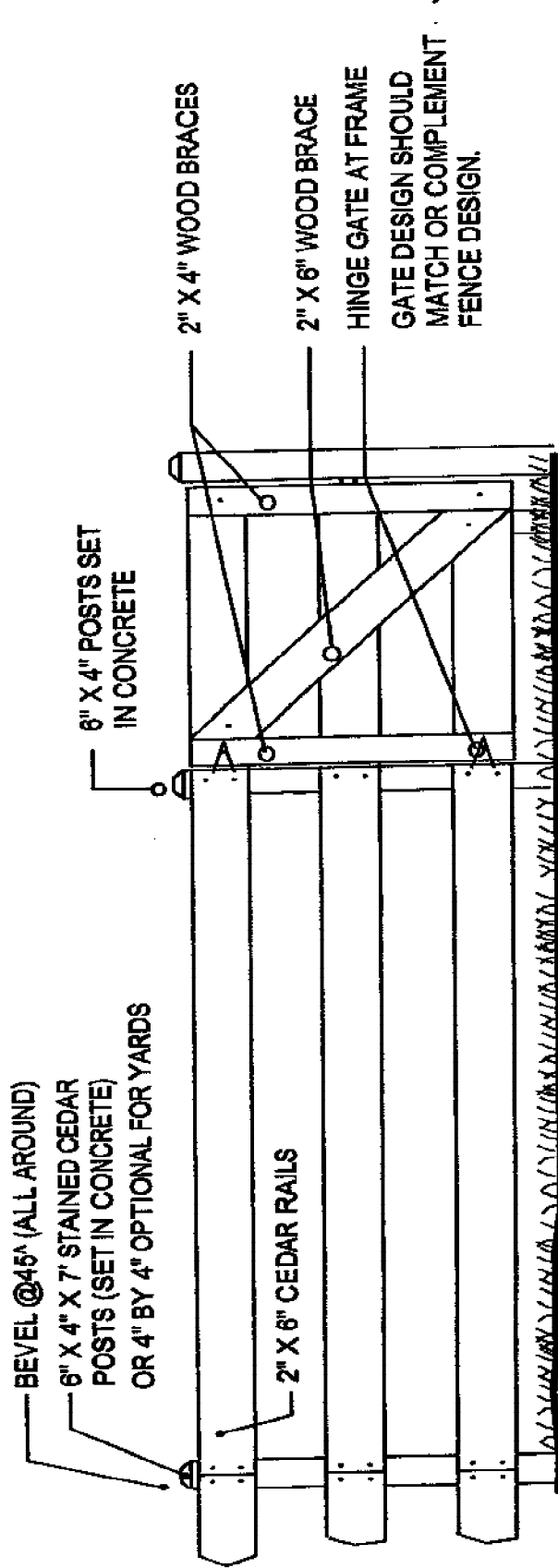


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CASTLEWOOD RANCH OPEN RAIL FENCE W/GATE

NOT TO SCALE

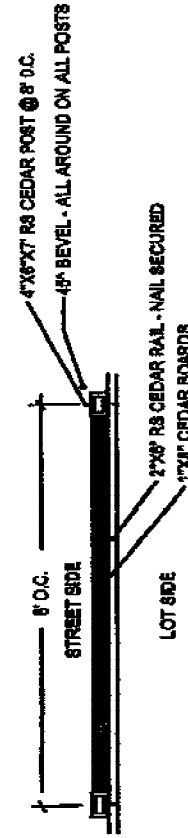
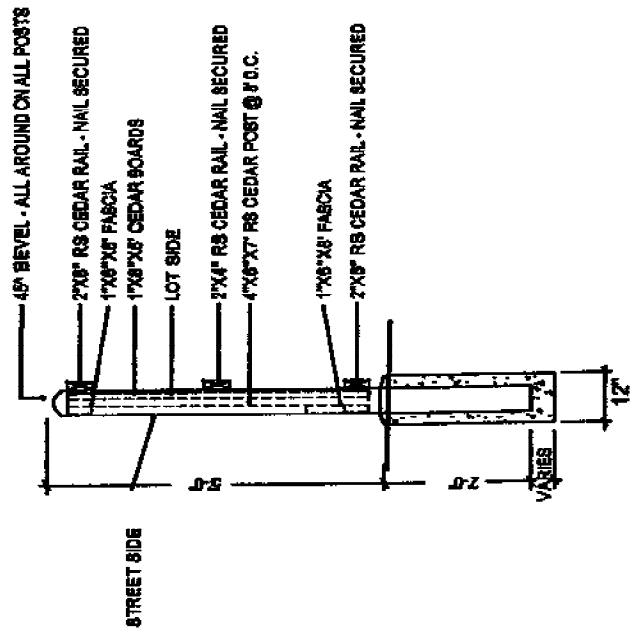
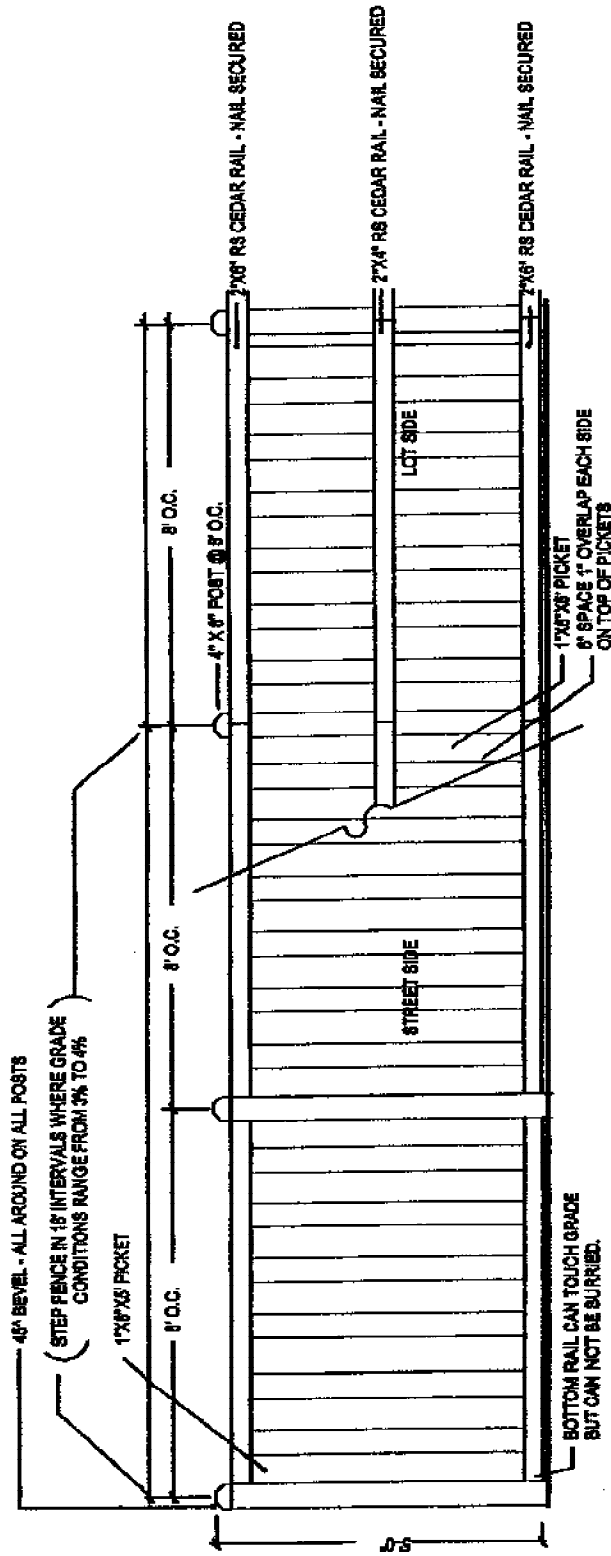


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CASTLEWOOD RANCH - PRIVACY FENCE DETAIL

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APPENDIX G

RECOMMENDED PLANT LISTING

CASTLEWOOD RANCH RECOMMENDED PLANT LIST

The following list of plant species has been compiled based on their hardiness, aesthetic value, xeric nature, indigenous character and deer resistance. This list is not intended to be restrictive, however the Design Review Committee will strongly encourage their use.

DECIDUOUS TREES

Kentucky Coffeetree
Green Ash
Lance leaf Cottonwood
New Mexico Locust
Hawthorn

Western Hackberry
Quaking Aspen
Canada Red Cherry
Amur Maple
Crabapple

Thinleaf Alder
Narrowleaf Cottonwood
Serviceberry
Rocky Mountain Maple
Linden

EVERGREEN TREES

Colorado Blue Spruce
Austrian Pine
Bristlecone Pine

Colorado Spruce
Pinon Pine
Southwestern White Pine

Ponderosa Pine
Rocky Mountain Juniper

DECIDUOUS SHRUBS

Barberry
Blue Mist Spirea
Rocky Mountain Sumac
Harrison's Yellow Rose
Peking Cotoneaster
Dogwood
Russian Sage
Coralberry
Mountain Mahogany
Buckthorn

Western Sand Cherry
Native Chokecherry
Staghorn Sumac
Austrian Copper Rose
Four Wing Saltbush
Viburnum
Fernbush
Deerbrush
Leadplant
Currant

Cistena Plum
Three Leaf Sumac
Dwarf Arctic Willow
Potentilla
Rabbitbrush
New Mexico Privet
Rock Spirea
Gambel Oak
Apache Plume
Buffaloberry

EVERGREEN SHRUBS

Rocky Mountain Yucca
Big Western Sage
Mugo Pine

Creeping Juniper
Blue Globe Spruce
Common Mountain Juniper

Old Gold Juniper
Montgomery Spruce

ORNAMENTAL GRASSES

Feather Reed Grass
Blue Fescue
Indian Grass

Little / Big Bluestem
Fountain Grass
Buffalograss

Blue Avena Grass
Maiden Grass
Blue Grama Grass

PERENNIAL FLOWERS

Mexican Evening Primrose
Snow In Summer
Sedum
Penstemon
Snakeweed
Catmint
Daylily
Columbine
Wild Four O'Clock
Fall Aster

Poppy Mallow
Basket of Gold
Himalayan Border Jewell
Red Valerian
Blanketflower
Salvia
Lavender Cotton
Native Geranium
Cinquefoil
Speedwell

Yarrow
Purpleleaf Wintercreeper
Double Bubblemint
Coreopsis
Colorado Holly
Iceplant
Bee Balm
Lupine
Coral Bells
Thyme

APPENDIX H

ACCESSORY BUILDING (Storage Shed) GUIDELINES & LOCATION DETAIL SKETCH

APPENDIX H - ACCESSORY BUILDING (Storage Shed) GUIDELINES

See attached detail drawing and setback reference table.

As referenced in Paragraph II.B.1. of the Castlewood Ranch "Design Guidelines and Application Review Procedures for Home Improvements and Landscaping, "an Accessory Building requires DRC approval and shall be based upon quality of workmanship, design, materials and colors of external design with existing structures, and location in relation to surrounding structures, topography and finish grade elevations." The following general standards shall apply:

- a. No more than one Accessory Building will be permitted on a lot and must be installed in side or rear-yard locations outside of zoning designated setback areas;
- b. It must be of the same or generally recognized as complementary architectural style and color as that of the residence;
- c. The roof must match that of the existing residence;
- d. Materials other than wood, Masonite or that resembling the home are prohibited;
- e. It must be screened from view of the street by a fence or landscaping. Shrubs and/or trees equal to $\frac{3}{4}$ the height of the Accessory Building at planting may be required for screening purposes, with quantity, size and location of vegetation subject to the Design Review Committee's discretion;
- f. The maximum allowed Accessory Building size is 8'x10'x5' in height, including skids, foundation and/or concrete slab. **However, effective with the July 16, 2002 ruling by the Castlewood Ranch Design Review Committee, variance consideration will be given for Accessory Buildings that exceed the 5' maximum allowable height if they comply with one of the following placement location requirements:**
 1. An Accessory Building that does not exceed 5 feet at its highest point may be located anywhere in the side or rear yard of a residential lot *except within zoning designated side or rear setback areas*;
 2. An Accessory Building up to 7 feet at its highest point may be approved for side-yard locations *if it is attached to the house and does not fall within a zoning designated side setback area*;
 3. An Accessory Building up to 8' at its highest point may be approved for rear-yard locations only and must be attached to the rear of the house.

Submittal requests for Accessory Buildings will be reviewed by the DRC on a case-by-case basis, taking into account each individual lot size, lot orientation and the proposed Accessory Building location. A scaled site plan showing exact placement location, dimensions and materials and color specifications must accompany all submittals.

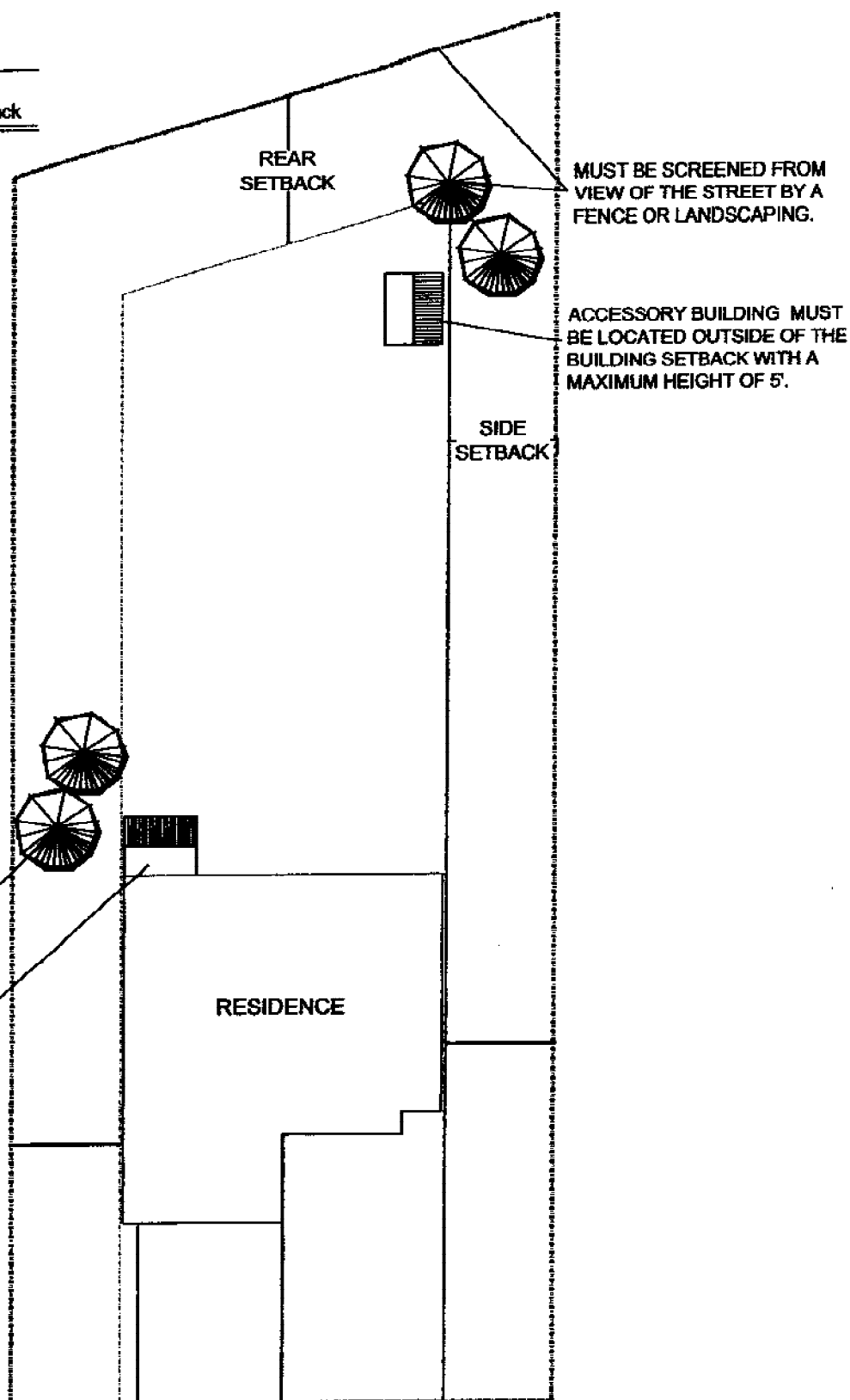
Revised 7-16-02

CASTLEWOOD RANCH

APPENDIX H

ACCESSORY BUILDING LOCATION DETAIL

Neighborhood	Builder	Side Setback	Rear Setback
Phase 1			
The Highlands	Melody Homes	15'	20'
The High Prairie	Melody Homes	15'	20'
The Trails	KB Home	5'	20'
The Mesa	KB Home	15'	20'
The Ridge	Pulte Homes	25'	25'
The Junipers	Greentree Homes	25'	30'
	Sundown Homes	25'	25'
The Overlook	multiple	25'	30'
The Canyons	multiple	25'	30'
The Villas	KB Home	5'	10'
Phase 2			
Lupine Meadows	not designated	15'	20'
Vantage Point	not designated	15'	20'
The Enclaves	not designated	15'	20'
Pinon Bluffs	not designated	25'	25'
Prairie Vista	not designated	15'	20'
Eagle's Perch	not designated	25'	30'
Peak View	not designated	15'	20'
Canyon Crest	not designated	25'	30'
Canyon Rim	not designated	25'	30'



NOT TO SCALE

NOTE: LOT DEPICTED REPRESENTS A TYPICAL LOT, HOWEVER INDIVIDUAL SETBACK REQUIREMENTS AND LOT SIZES MAY VARY. REFER TO TABLE

APPENDIX I

PLAY STRUCTURE GUIDELINES & HEIGHT DETAIL SKETCH

APPENDIX I – PLAY STRUCTURE GUIDELINES

See attached detail drawing and setback reference table.

As referenced in paragraph 3.24 of the "Covenants, Conditions and Restrictions for Castlewood Ranch," Play Structures that do not exceed 6' in height from ground level will not require Design Review Committee approval. However, DRC approval is required for Play Structures that exceed 6' in height, with variance consideration given for those that meet all of the following requirements:

1. No more than one Play Structure will be permitted on a lot and must be installed in a side or rear-yard location *outside* of zoning designated setback areas (provision applicable to Play Structures of any height);
2. The "main section" of a Play Structure may not exceed 8' in height at its highest point; an "open platform / separate tower section" may, however, extend up to 12' at its highest point (see attached detailed drawing);
3. A Play Structure must be constructed of a natural wood material with a natural or brown stain finish;
4. Wood roofs on open platform/tower sections are preferred, however canvas covers will be approved if a solid forest green color; no other colors or striped patterns will be permitted;
5. Preferred slide colors are forest green or other natural colors, however primary colors will be permitted;
6. No flags will be permitted;
7. Landscape screening of at least 6' in height may be required at time of Play Structure installation, with tree location(s) to be specified by the DRC on a case-by-case basis;
8. A Play Structure must be well maintained and kept orderly at all times;
9. Any future additions to a Play Structure must be approved by the DRC prior to installation.

Submittal requests for Play Structures exceeding 6' in height will be reviewed by the DRC on a case-by-case basis. A scaled site plan showing exact placement location, dimensions and materials and color specifications must accompany all submittals.

Revised 7-16-02

CASTLEWOOD RANCH

APPENDIX I

PLAY STRUCTURE HEIGHT DETAIL

Neighborhood	Builder	Side Setback	Rear Setback
Phase 1			
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Eagle's Perch	not designated	25'	30'
Peak View	not designated	15'	20'
Canyon Crest	not designated	25'	30'
Canyon Rim	not designated	25'	30'

NOTE: PLAY STRUCTURES MUST BE LOCATED OUTSIDE OF ZONING DESIGNATED SIDE OR REAR YARD SETBACK AREAS.

